



**DAYTON CITY COUNCIL**  
**111 S. 1st Street, Dayton, WA 99328**  
**CRAIG GEORGE, MAYOR**

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**PRELIMINARY AGENDA**  
**REGULAR MEETING**  
**Wednesday, March 13, 2019**  
**6:00 p.m.**

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1. CALL TO ORDER
  - A. Roll Call
2. CONSENT AGENDA – RECOMMENDED ACTION:
  - A. Approve City Council Meeting Minutes as written for February 13, 2019
  - B. Approve Voucher Warrants as audited by the Finance Committee
  - C. Approve Payroll Warrants for January 2019
3. SPECIAL GUESTS AND PUBLIC COMMENT
4. COMMITTEE/BOARD/COMMISSION REPORTS
5. REPORTS OF CITY OFFICERS
  - A. Application to Columbia County to amend the Urban Growth Area for Dayton, WA – Meagan Bailey, Planning Director
6. UNFINISHED BUSINESS
7. NEW BUSINESS:
  - A. Recommended Action: Appoint Rusty Figgins to the Dayton Historic Preservation Commission, effective March 14<sup>th</sup>, 2019, with a term ending February 28<sup>th</sup>, 2022 – Meagan Bailey, Planning Director
  - B. Recommended Action: Authorize Resolution No. 1374, adopting Residential Historic Design Guidelines as recommended by the Dayton Historic Preservation Commission – Meagan Bailey, Planning Director
8. EXECUTIVE SESSION: To consider the selection of a site or the acquisition of real estate by lease or purchase when public knowledge regarding such consideration would cause a likelihood of increased price (RCW 42.30.110(1)(b))
9. FINAL PUBLIC COMMENT
10. ADJOURN

Next regular meeting is April 10, 2019 at 6:00 p.m. at Dayton City Hall, 111 S. 1st Street, Dayton, WA 99328.

**DAYTON CITY COUNCIL MINUTES**  
**Regular Meeting**  
**Wednesday, February 13, 2019**  
**111 S. 1<sup>st</sup> Street**  
**Dayton, WA 99328**

**1. CALL TO ORDER**

Mayor Craig George calls the meeting to order at approximately 6:00 p.m.

Roll Call: Present: Kathy Berg, Matt Wiens, Dain Nysoe, Byron Kaczmariski, Delphine Bailey,  
Mike Paris, Zac Weatherford  
Staff: Meagan Bailey, Planning Director; Deb Hays Deputy City Clerk

**2. CONSENT AGENDA:**

**ACTION:**

A. Approve City Council Meeting Minutes as written for:

- i. December 19, 2018
- ii. December 27, 2018; and
- iii. January 9, 2019

B. Approve Voucher Warrants as audited by the Finance Committee \$130,928.61

C. Approve Payroll Warrants for January 2019 \$86,220.36

D. Affirm Mayor George's Re-appointment of Carol Lane to the Dayton Historic Preservation Commission for a full appointment, with term expiry of February 28th, 2022.

E. Authorize Task Order for Comp Plan update

F. Authorize Task Order for 2019 Street Projects as budgeted in the 2019 Budget

G. Approve Dayton Planning Commission resignation of Commission member Ashly Beebe.

Nysoe makes the motion to approve Consent Agenda, Paris seconds. The motion carried unanimously.

**3. SPECIAL GUESTS/PUBLIC COMMENT**

No Public Comment.

Close the regular meeting at 6:02 p.m. and Open the Public Hearing

Public Hearing to; Receive public testimony on the 2019 – 2024 Capital Improvement Plan:

No Comments

Hearing no public comments. Mayor George Closes Public Hearing.

6:03 pm Close the Public Hearing

6:03 p.m. Re-Open Regular scheduled meeting.

Nysoe makes the motion to approve Resolution No. 1366, adopting the City of Dayton's 2019 – 2024 Capital Improvement Plan. Kaczmariski seconds. The motion carried unanimously.

**4. COMMITTEE/BOARD/ COMMISSIONER REPORTS**

Mayor Craig George discusses the following items

**A.** Wastewater Treatment Plant Project – March Meeting we will have an executive meeting with Anderson Perry as it pertains to land purchase.

**B.** Application for Inert Waste Site Permit – has been sent off to DOE, have not heard anything back from them yet, it was just mailed in last month.

**C.** Golf Course and Flour Mill Park Restroom Land Exchange – Is in the Mix we are working on this.

Follow-Up on request to maintain and operate private drives within the Cornaggia Addition. Mayor George makes the comment the City of Dayton is NOT taking on the responsibility of maintaining private drives, the property owners need to make sure to mark what is private and what is public.

**Public Safety** – There is no report.

**Public Works** – Berg reports she had a ride around with Jim this morning and looked at some areas of concern. The City Crew is doing a good job.

**Finance** – There is no report.

**Parks/Public Grounds** – D. Bailey reports Trina is working on the Grant for trees for Main Street.

**Planning/Economic Development** –Kaczmariski reports the Planning Committee has been busy, Meagan will cover it in her report.

**Personnel** – Paris reports that the Personnel Committee met and firmed up the Resolutions that we will be voting on tonight for contracts for employees. Mayor George reports that an investigation has been performed on one of the City's employees. The City received lawyer assistance and the employee was properly disciplined. This issue has been taken care of.

**Emergency Management** – There is no report.

**Chamber of Commerce** – Berg reports, the Chamber has been busy working on Brix and Brew March 15<sup>th</sup> @ pavilion. Chamber hopes to have an Assistant hired by the end of next week.

**Commissioners** – There is no report.

## **5. REPORTS OF CITY OFFICERS**

**Sheriff** - Joe Helm reports – Still going thru a transition period - We did start our Citizen Academy in 2019. Nysoe asks Sheriff Helm about 1639. Sheriff Helm explains to Nysoe his point of enforcement on this issue. Sheriff Helm invites Nysoe and any other council member to come to his office and discuss this issue further.

**Public Works** – There is no report.

**Planning Director/Code Compliance** – M. Bailey reports on the Code Compliance Update. She is formally requesting a meeting with the Finance Committee, Public Safety and the City Attorney. To discuss a potential abatement project.

Comp Plan Update – Updates are going to Planning Commission next week to finalizing updates and heading for SEPA end of March first of April, still on target for June deadline. Minor issue, Columbia County lost their GIS tech, M. Bailey is currently working with the consultant to amend the contract to incorporate some additional GIS work.

M. Bailey makes mention she is looking at a potential development agreement inside the City limits for a distillery. Exciting for potential new business, very early stages at this point.

M. Bailey reports she received verbal approval to hire an office Assistant and she is waiting for written approval on Tuesday, the Office Assistant will begin on February 25<sup>th</sup>.

**City Clerk-Treasurer** – There is no report.

**Mayor Pro-Tempore** – There is no report.

**Mayor** – There is no report.

## **6. UNFINISHED BUSINESS**

**ACTION:** Resolution No. 1367 - Engineering Services Contract with Anderson Perry & Associates, Inc. for 2019-20217. Bailey makes the motion, to approve Resolution No. 1367 - Engineering Services Contract with Anderson Perry & Associates, Inc. for 2019-2021. Berg seconds. The motion carries unanimously.

## **7. NEW BUSINESS**

A. **ACTION:** Resolution No. 1368 - authorizing a personnel contract with James C. Costello.

B. **ACTION:** Resolution No. 1369 – authorizing a personnel contract with Debra M. Hays.

C. **ACTION:** Resolution No. 1370 – authorizing a personnel contract with Trina D. Cole. Mayor George explains the reason for the contracts after a brief discussion. Council member Paris from the Personal Committee explains the committee’s recommendations. D. Bailey makes a motion to approve Resolution Nos. #1368, #1369, #1370. Weatherford seconds the motion; the motion carries unanimously.

D. **ACTION:** Resolution No. 1371, adopting updated countywide planning policies for Columbia County –. Planning Director M. Bailey explained the updating process and improvements. Paris makes a motion to adopt Resolution No. 1371 updated countywide planning policies for Columbia County. Bailey seconds. The motion carries unanimously.

E. **ACTION:** Resolution No. 1372 – Flood Control Zone District. Mayor George explains the Flood Control Zone District. Planning Director M Bailey explains in detail the process and steps that still need to be taken to acquire the support of City of Dayton and City of Starbuck. Columbia County has adopted their intent to form and now waiting for City of Dayton and City of Starbuck support. Berg moves for approval to accept Resolution No.1372 Flood Control Zone District. Paris seconds. The motion carries unanimously.

F. **ACTION:** Resolution No. 1373 - Amend Master Fee Schedule to include changes to building permit fees and charges – Planning Director M. Bailey explains in detail the positive changes to the Fee Schedule, after a brief discussion. D Bailey makes a motion to approve, Resolution No. 1373 – Amend Master Fee Schedule to include changes to building permit fees and charges. Kaczmariski seconds. The motion carries unanimously.

G. **ACTION:** Gas Tax Agreement - Transportation Improvement Board for grant funding to replace the Main Street Light bulbs to LED- Craig George, Mayor - D. Bailey asks why is it’s a GAS TAX? Mayor George explains the details and how it is involved with Transportation Improvement Board. Positive comments by several council member that the lights are nice and bright. Paris makes a motion to approve Gas Tax Agreement - Transportation Improvement Board for grant funding to replace the Main Street Light bulbs to LED. Weatherford seconds. The Motion carries unanimously.

**8. FINAL PUBLIC COMMENT**

None.

Councilmember Nysoe –Asks about the Monthly City Council agendas not being in the local papers. Mayor George asked Deputy Clerk Hays to take care of this for all 3 papers.

Deputy Clerk Hays –Reports about the Cemetery and Council Meeting records that will be picked up March 4<sup>th</sup> or 5<sup>th</sup>. To be archived digitally. Hays explains these documents will be out of the office, but we will still have access to them via the phone.

Councilmember D. Bailey - Reports on Public Works new truck. Public Works crew made it home safe and truck looks great.

Mayor Craig George – Reports Anderson Perry has chosen Dayton High School to receive a \$750.00 Scholarship, Mayor George will coordinate with Dayton High School on getting this information to students.

**9. ADJOURN**

With no further business to come before the Council, the regular meeting is adjourned at 6:48 p.m.

City of Dayton

\_\_\_\_\_  
By: Craig George, Mayor

Attested:

Approved:

03/13/2019

\_\_\_\_\_  
Trina D Cole , City Administrator

\_\_\_\_\_  
Date



03/13/2019  
Agenda Item No. 5(A)

***Columbia County, WA Planning Staff Report  
Updates to the Dayton Urban Growth Area***

*Proposed Amendments to the Dayton Urban Growth Area*

RE: An application to Columbia County to amend the UGA for Dayton, Washington

Date: March 13<sup>th</sup>, 2019

To: City of Dayton City Council

From: Meagan Bailey, Planning Director

**Request:**

Being a request to amend the Urban Growth Area boundary for the City of Dayton, Washington.

**Introduction:**

The Washington State Growth Management Act requires that cities and towns prepare and utilize documents to guide future development and growth. Among the tools offered to local jurisdictions is the Urban Growth Area (UGA). The UGA is designed to identify those areas which have the potential to be developed at urban densities in the future, considering a 20 year timeframe. Within these UGA's, cities can annex lands which are subject to immediate development, and to which they are obligated to provide services. The application herein is to revise the existing UGA for the City of Dayton to not only provide more appropriate rationale for the UGA, but also accommodate the desires of several property owners.

**Project Description:**

The proposal and application herein encompasses several pieces of property along the perimeter of the current UGA. The attached map provides a visual to the proposed change. The request is to remove two areas from the existing UGA, and add two areas to the UGA. The intent is to have a near balance of acreage being removed and being added. Due to Washington State law, the City of Dayton cannot add acreage to the UGA due to limited growth rates; however, the option to redefine the UGA boundary and "swap" acreage is made possible to the local jurisdictions. Thus, the proposal is to move the boundary to offer a better opportunity for more appropriate and desirable growth. The specific reasons for the addition/removal of sections are outlined as follows:

Removal (the NW area):

This land is almost entirely within the floodway, which cannot be developed in any fashion. The acreage within this area is entirely unusable, and offers zero growth potential for the City of Dayton.

Addition (the SW area):

This land is owned by the Port of Columbia, and is slated to be developed as part of the Port's food processing center over the next 18 years or so. It is appropriate to be within the UGA.

Removal (the NE area): This land is owned by Columbia County, and houses the County's Public Works Department and a rock quarry. This land does not offer growth potential to the City of Dayton.

Addition (the E area): This property is privately owned and under common ownership with the land to the south, which is currently within the UGA. In order to permit any future development requests in a coherent and orderly fashion it is appropriate this be incorporated within the UGA.

**City Application Specifics:**

Name of the City: Dayton, Washington  
Address: 111 South 1<sup>st</sup> Street, Dayton, WA 99328  
Contact Person: Trina Cole, City Administrator  
Meagan Bailey, Planning Director  
Phone: 509-382-2361  
509-382-4676  
Email: [tcole@daytonwa.com](mailto:tcole@daytonwa.com)  
[Meagan\\_bailey@co.columbia.wa.us](mailto:Meagan_bailey@co.columbia.wa.us)

Description of the proposed amendment: This proposal encompasses several pieces of property on the perimeter of the current UGA. The attached map should clarify the locations. The proposal is requesting that two areas be removed from the UGA, and two areas be added to the UGA. The intent is to have a near balance of acreage being removed and being added. The reason for this is the requirements of state law. Typically, cities have a growth rate of some sort, and require city limit enlargement from time to time. In the case of Dayton and Columbia County, the growth rate has been very static for several decades. State regulations require that enlarging a UGA boundary must be a result of recent growth making the existing area inadequate to absorb the projected population

growth over the next twenty years. With a growth rate of zero, or even slightly negative some years, Dayton can't justify a larger UGA. However, we believe that a "swap" would be permissible, given that some areas of the current UGA are in unusable areas, such as a floodway, or the owner doesn't want the land to be in the UGA.

Thus, the proposal is to move the boundary to areas that are more usable, and remove the unusable/undesired components. The attached map (Exhibit 1) shows where these two different types of land are located. The specific reasons for including each of these areas are as follows:

The northwest area-This land is in a floodway, which cannot be developed in any fashion. The acreage within this section is unusable.

The southwest area-This land is owned by the Port of Columbia, and is slated to be developed as part of the Port's food processing center over the next eighteen years or so. It is appropriate that it be in the UGA.

The northeast area-This land has an existing rock quarry on it, and is owned by Columbia County. The Public Works director would like it removed from the UGA as it will never be developed with an urban use, and would allow for more appropriate use of their existing facilities, if it were not within the UGA.

The east area-This property is under common ownership with the land to the south, which is currently in the UGA. In order to permit a coherent development, It is appropriate that all of this land be within the UGA. This will provide better access to any development that occurs farther south.

Area of amendment:

Areas to be removed: Sec. 25, T 10 N, R 38 E, and Sec.19 & 20, T. 10 N, R 39 E.

Areas to be added: Sec. 36, T 10 N, R 38 E, and Sec.20, T. 10 N, R 39 E.

Acreage:

Overall, this proposal is a near "swap" in

regards to acreage. The proposal indicates removing 39.58 acres from the existing UGA, and adding 39 acres.

Number of parcels:

There are five parcels affected by removal, and five parcels affected by addition. A total of 10 parcels are proposed to be affected by this change

**Site map:**

Current County zoning and land use designations:

The NW area (removal): currently zoned as AR-1, land use designation cropland.

The NE area (removal): currently zoned as LI-1, land use designation cropland.

The SW area (addition): currently zoned as AR-1, land use designation cropland.

The E area (addition): currently zoned as AR-1, land use designation cropland.

Desired City land use designations:

The SW area (addition): General Commercial.

The E area (addition): Urban Density Residential.

Land use of the surrounding area:

The SW area (addition): commercial east along highway 12, cropland (County designation) all other directions.

The E area (addition): residential south and west of the site location, commercial north, cropland (County designation) east of the proposed.

Has any environmental documentation been prepared as required by SEPA:

The amendments herein are in part of the 2020 Comprehensive Plan update. As such, the SEPA analysis and review will consider the potential environmental impacts of this amendment, as well as all other amendments within the Comprehensive Plan.

## Capital Facilities:

Capital facilities plan funding strategies:

The following capital facilities plan, as required by RCW 36.70A.070 and .030 identify estimated costs associated with the identified improvements. The costs are capable of being covered by the following methods:

1. Grant funding through economic development grants, rural community grants, and/or the city or potential developer may be qualified for.
2. Contractor exactions and dedications to require developers to provide parks, streets, and even school space as a condition of development approval.
3. Impact fees to ensure the costs of required improvements are covered for the new development.
4. The creation of development specific Local Improvement District's (LID's)
5. Current expense fund, if available on a case-by-case basis.

Capital facilities plan as required by RCW 36.70A.070 and .030:

### Transportation:

SW 7 acres (Port): The streets in the developed area are owned and maintained by the Port. It is assumed that new streets will be handled the same way. They are not constructed to city standards, as they are narrower and don't have curbs and sidewalks. To develop the 7 acres and the other undeveloped ground, will require approximately 2000' of street that will connect to Wagon Road and HWY 12. Estimated cost is \$400,000.

NE 32 acres (residential): The majority of this site appears to have slopes in the range of 10% to 20%. The slope will impact the street and lot layout, as well as the number of lots that can be created. Assuming that approximately 90 lots will be created., the final layout will have approximately 70' of new street for each lot. Using this and the 90 lots previously mentioned we can expect

approximately 6300' of internal streets. Primary access will likely be off Patit Road with secondary access to existing City Street near the City's reservoir. Estimated cost for onsite improvements is \$1,700,000.

#### Water Systems

SW 7 acres (Port): There is an 8" water main loop in the developed area that is connected to an 8" main in Wagon Road with a pressure reducing valve (prv) assembly. A second prv will be needed. The pressure reduction is needed due to the high pressures in the area. Estimate cost including the PRV is \$375,000.

NE 32 acres (residential): There is over 200' of elevation change across the property. An estimated 70% to 80% of the site is above an elevation that allows it to be served by the city water system as it currently exists. A new high level pressure zone is needed to serve the rest of the property. There are two other tracts south of the 32 acre tract that are currently in the Urban Growth Area that also need the new pressure zone to be served by the water system. In addition, there are 40 to 60 residential services currently connected to the water system that are located near the 32 acre tract that have pressures below the Department of Health guidelines. The current water system plan suggests that the pressure issues be addressed before any new services in the area are connected. Pressures to the existing services can be increased for approximately \$600,000 by installing a booster pump station near the existing reservoir. This solution will not work for the 32 acre tract or the other two adjacent tracts, and a new standalone reservoir will need to be installed to serve these lots. The total cost of the reservoir is approximately \$1,200,000, however approximately half of this cost should be attributed to fixing deficiencies in the existing system. Internal water lines are estimated to cost an additional \$1,000,000. There is also an old 6" steel water main in Patit Road (northwest border of the 32 acre

tract) that the new on site water system can connect to create a looped system. The 6” pipe is likely near the end of its life and should be replaced as well at a cost of \$300,000.

Sanitary Sewer System

SW 7 acres (Port): There is a gravity sewer on site that feeds into a sewer lift station. A 3” pressure sewer line carries the sewage approximately 1800’ to a connection point to the city gravity sewer. Approximately 1500’ of gravity sewer, a second lift station and pressure pipe to connect to the existing lift station will be required. Estimated cost is \$350,000.

NE 32 acres (residential): The most logical and cost effective connection point to the sanitary sewer system for the 32 acre tract is at the end of the sewer at the east end of Washington Avenue. This would involve approximately 1,800’ of new sanitary sewer pipe with manholes extended in the old labor camp road and then turning southeast and crossing Patit Road to the property. The total cost of the sewer extension is estimated at approximately \$300,000. Onsite sanitary sewer lines are expected to cost approximately \$1,000,000.

Stormwater facilities

SW 7 acres (Port): Storm water would likely be collected on site in ditches and conveyed to onsite swales. The Port maintains the existing storm drain system and is anticipated to maintain the new system. Estimate cost is \$100,000.

NE 32 acres (residential): Onsite stormwater facilities consisting of catch basins and drywells are expected to cost approximately \$400,000.

Reclaimed water facilities:

SW 7 acres (Port): Reclaimed water facilities are not anticipated.

NE 32 acres (residential): Reclaimed water

facilities are not anticipated.

#### Schools

Dayton approved school district Capital Improvement levies in 2016 and 2018 to fund major repairs. Those projects are slated for completion with the final levy collections in 2020.

No specific projects are planned; however, the two school buildings are aging and in need of ongoing maintenance, especially in regard to electrical, plumbing, roofing and HVAC. The district has experienced an average 3% enrollment decline over the last six years. However, an increase in student population could result in a lack of classroom space because of tightened state requirements regarding student-teacher ratio and classroom sizes.

#### Parks and recreational facilities:

The City of Dayton provides 27 acres of park space between Peitrzycki City Park and the nearby Sports Complex. Flour Mill Park, located on Main Street, is also a trailhead to the Touchet River Dike Path which connects to Pietrzycki City Park. The City is home to several other small parks and recreation areas, such as Caboose Park, the Dayton Dog Park, and the Dayton Historic Train Depot. Most facilities are in good repair and will meet anticipated growth needs except for the Dayton City Pool, located in the Pietrzycki City Park Complex, which is in need of complete replacement. Research regarding replacement options and funding possibilities is currently underway. Other desired improvements include trails development, parks maintenance, and recreation program services. A complete recreational spaces inventory and a capital improvement plan can be found in the 2018 Cooperative Park Master Plan.

#### Police and fire protection facilities (WAC 365-196-415):

The City of Dayton contracts on an annual basis with Columbia County to provide public safety services. The Columbia County Sheriff's Department and the County Jail are currently housed in the Columbia County

Courthouse.

Current jail and Sheriff's Office facilities are highly inadequate and the county is exploring options for a new Law and Justice building. Issues include inability to separate inmates, lack of temporary holding space, interview space, office and storage space. Outdated technology and safety concerns.

The City of Dayton is located in Fire District #3. The department is made up of approximately 30 volunteers and six career staff. The District moved to new facilities, which were constructed to meet current needs with room for expansion, in 2015. The District currently has no improvements planned for the next six years.

Highway 12 – WSDOT:

A phone conference was scheduled and held on January 15<sup>th</sup>, 2019. The following were present:

Meagan Bailey (Planning Director), Adam Schmidtgall (Anderson & Perry), Charles Eaton (County Engineer), Eian Ray (County GIS), Ferdouse Oneza (Consultant), Ben Floyd (Consultant), Will Simpson (COMM.), Debra Freudenthal (WSDOT), John Gruber (WSDOT), Paul Gonseth (WSDOT), Bill Preston (WSDOT)

During the meeting, impacts regarding the proposed changes were discussed, and the following conclusions were made:

An analysis/memo discussing UGA build out will need to be prepared to understand potential impact on Highway 12. Additional language improvements for Highway 12 were discussed and will be implemented within the Comprehensive Plan update. The analysis required is attached herein as Appendix 4.

**Existing Improvements:**

The NW area and E area do not have any existing improvements on them. The SW area is developed with an existing residence and outbuildings, and the NE area is developed with the Public Works Department offices, shops, and rock quarry.

**Environmental:**

A SEPA Checklist will be required as part of this amendment. As this will be incorporated within

the adoption of the amended Comprehensive Plans for the City of Dayton and Columbia County, the SEPA Checklist for that adoption will encompass this proposal as well and will address any potential environmental impacts due to this change.

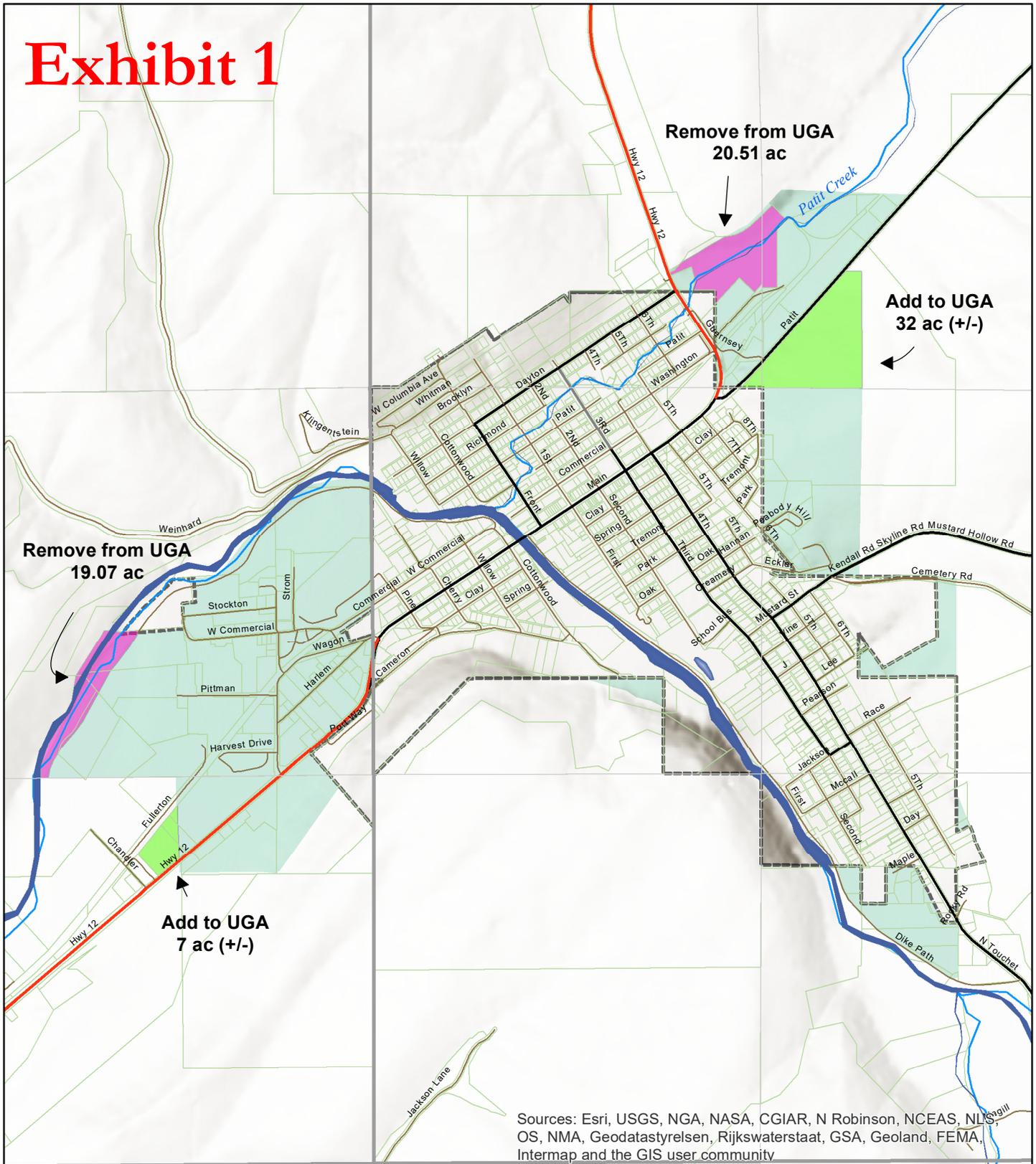
**Application for Amendments:**

Washington State requires the City of Dayton submit a formal application to Columbia County to consider the proposed amendment. As such, the following are attached herein and are thus titled “Dayton Application for UGA Amendments, 2020 Comprehensive Plan Update”.

1. Exhibit 1: Proposed UGA Map
2. Exhibit 2: New Land Use Designation Map
3. Exhibit 3: New City Zoning Map
4. Exhibit 4: Patit Road Traffic Study

ENCLOSURE

# Exhibit 1

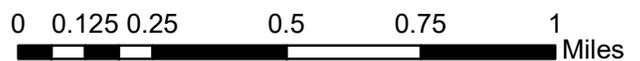


## Proposed UGA changes - Dayton, WA



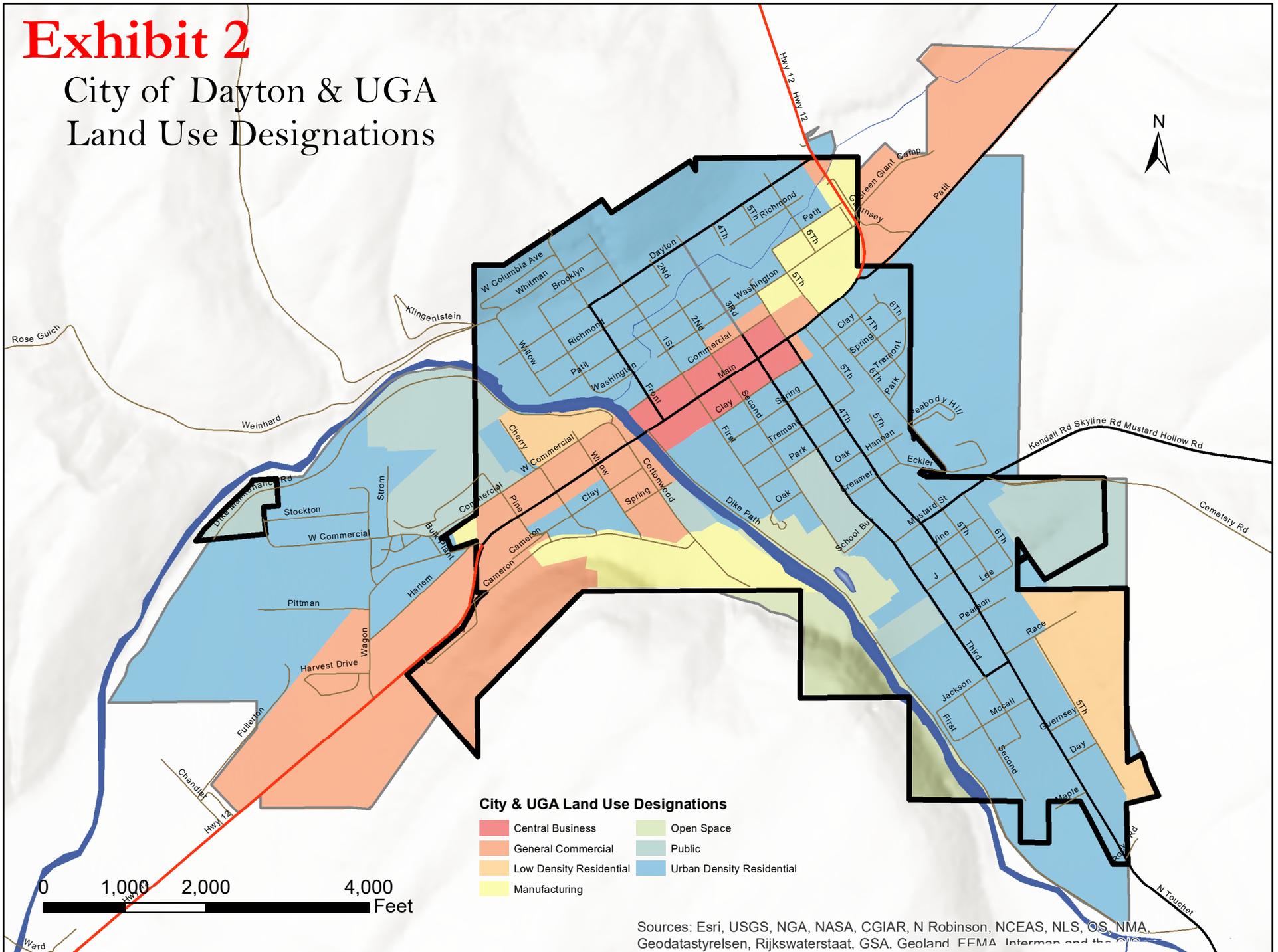
### Legend

- Incorporated City Limits
- Urban Growth Area
- Remove from UGA
- Proposed Add to UGA



# Exhibit 2

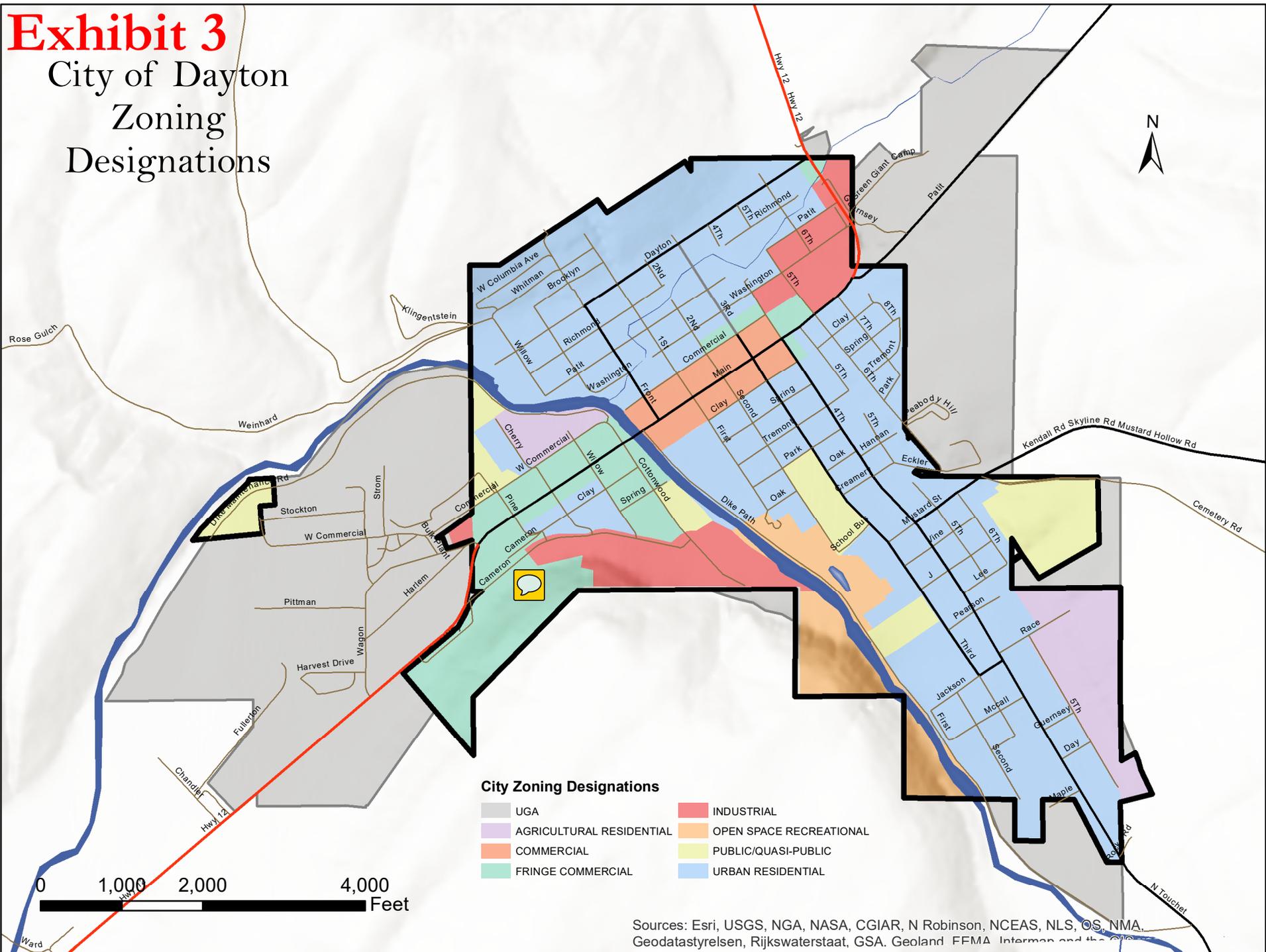
## City of Dayton & UGA Land Use Designations



Sources: Esri, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodastystyrelsen, Rijkswaterstaat, GSA, Geoland FFMA Intermap and the GIC

# Exhibit 3

## City of Dayton Zoning Designations

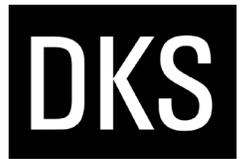


### City Zoning Designations

- UGA
- AGRICULTURAL RESIDENTIAL
- COMMERCIAL
- FRINGE COMMERCIAL
- INDUSTRIAL
- OPEN SPACE RECREATIONAL
- PUBLIC/QUASI-PUBLIC
- URBAN RESIDENTIAL

Sources: Esri, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodastystyrelsen, Rijkswaterstaat, GSA, Geoland FFMA Intermap and the GIC

# Exhibit 4



## DRAFT MEMORANDUM

DATE: February 12, 2019

TO: Adam Schmidt Gall, P.E. | Anderson Perry & Associates, Inc.

FROM: Lacy Brown, Ph.D., P.E. | DKS Associates  
Clive Lara | DKS Associates

SUBJECT: Dayton UGA Traffic Study

117 Commercial St  
#310  
Salem, OR 97301  
503.391.8773  
dksassociates.com

This memorandum provides the transportation engineering evaluation for the access needs and potential impacts for the urban growth area expansion located near Patit Road/Highway 12 (Main Street) in Dayton, Washington. The purpose of the transportation engineering evaluation is to identify access needs and any associated impacts to the surrounding transportation system.

This memorandum will present the existing conditions based on data collected through traffic counts proposed developments will have on the surrounding transportation system.

## EXISTING CONDITIONS

The City of Dayton is in the process of updating their comprehensive plan, which includes adding new land to the Urban Growth Area (UGA). Washington Department of Transportation (WSDOT) is requesting that a traffic analysis be performed to determine the potential impacts at the Patit Road/Highway 12 intersection. Patit Road/Highway 12 is currently a three legged intersection stop-controlled on Patit Road: all the three legs have one approach lane each. Figure 1 shows the 32 acre being added to the urban growth area as well as the existing 40 acres of land already existing in the UGA.

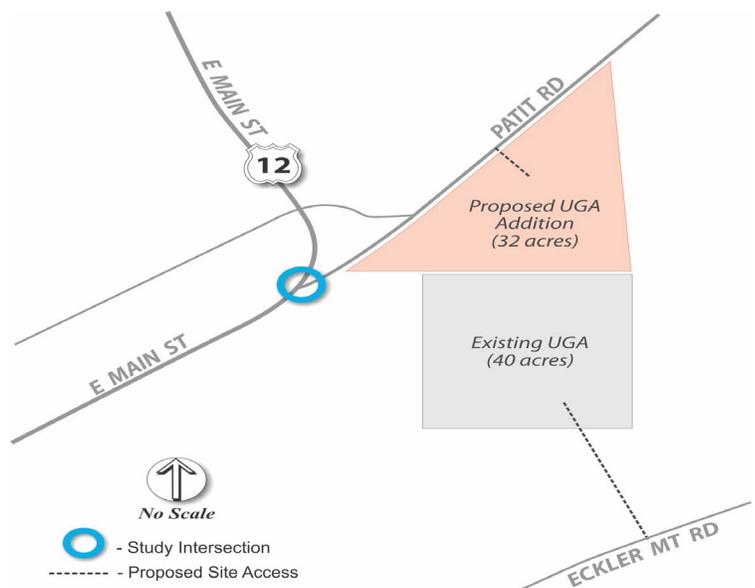


Figure 1: Study Area

## Roadway Classification

The characteristics of the roadways within the study are shown in Table 1. The table includes the Washington State Department of Transportation (WSDOT) functional classification, the number of travel lanes, posted speed, and the bicycle/pedestrian facilities. The area near the site is rural.

**Table 1: Roadway Classifications and Characteristics**

Roadway	Functional Classification <i>WSDOT</i>	Number of Lanes	Posted Speed	Sidewalk	Bike Lanes
Highway 12 (Main Street)	Principal Arterial	2	35 mph	No <sup>1</sup>	No
Patit Road	Major Collector	2	30 mph <sup>2</sup>	No	No

<sup>1</sup>Sidewalk path exists on the east side of Highway 12, north of Patit Road

<sup>2</sup>Assumption; no posted speed near study intersection

### Existing Traffic Volumes

Various traffic counts were compiled to estimate 2019 turning movement volumes at the Patit Road/Highway 12 intersection. 24-hour midblock tube counts were collected on Patit Road east of Highway 12 from 7/31-8/7/2018. The traffic counts collected from Tuesday-Thursday (7/31-8/2) were averaged. 24-hour midblock counts were collected on Highway 12 just north of Patit Road from 4/30-5/4/2012. The traffic counts collected from Tuesday-Thursday (5/1-5/3) were averaged.

### Average Annual Growth Rate

An annual growth rate for the study area was calculated using the Annual Traffic Report (ATR) provided by WSDOT. A permanent traffic recorder station located on Highway 12 north of Patit Road was analyzed over the last four years of available data to determine an estimated background growth rate of 3 percent. Table 5 shows the traffic data used to calculate the background growth rate.

**Table 2: Annual Traffic Report Data**

Location on Highway 12	2013 AADT	2014 AADT	2015 AADT	2016 AADT	Average Growth Rate
Mile 367.63 north of Patit Road	2500	2600	2700	2800	3%

The 3 percent average annual growth rate was applied to the 2012 traffic counts on Highway 12 to obtain 2019 peak hour volumes. The estimated peak hour traffic volumes are shown in Figure 2. The detailed 24-hour traffic counts are included in the appendix. Before the analysis results of the study intersections are presented, discussion is provided for two important analysis issues: intersection performance measures (definitions of typical measures) and required operating standards (as specified by the agency with roadway jurisdiction).

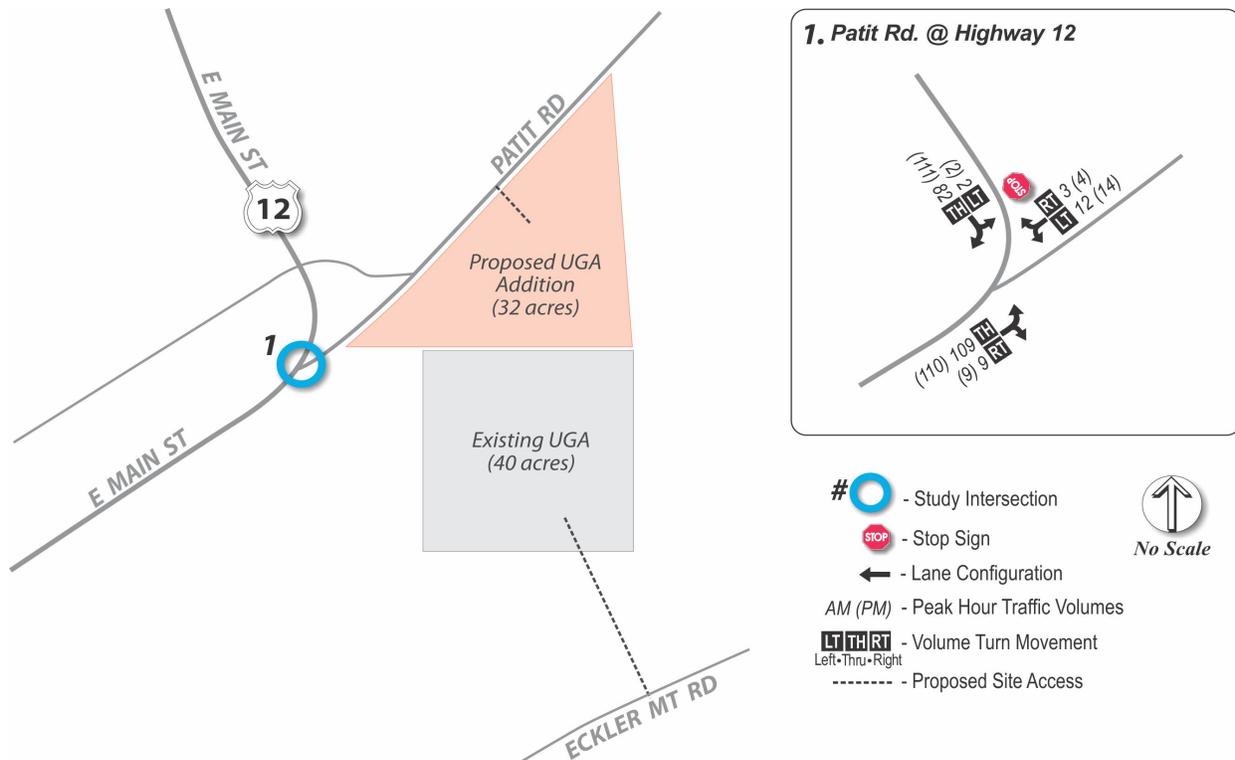


Figure 2: 2019 Existing Traffic Volumes

## Intersection Performance Measures

Level of service (LOS) ratings and volume-to-capacity (v/c) ratios are two commonly used performance measures that provide a good picture of intersection operations. In addition, they are often incorporated into agency mobility standards.

- Level of service (LOS): A “report card” rating (A through F) based on the average delay experienced by vehicles at the intersection. LOS A, B, and C indicate conditions where traffic moves without significant delays over periods of peak hour travel demand. LOS D and E are progressively worse operating conditions. LOS F represents conditions where average vehicle delay has become excessive and demand has exceeded capacity. This condition is typically evident in long queues and delays.
- Volume-to-capacity (v/c) ratio: A decimal representation (typically between 0.00 and 1.00) of the proportion of capacity that is being used at a turn movement, approach leg, or intersection. It is determined by dividing the peak hour traffic volume by the hourly capacity of a given intersection or movement. A lower ratio indicates smooth operations and minimal delays. As the ratio approaches 0.95, congestion increases and performance is reduced. If the ratio is greater than 1.00, the turn movement, approach leg, or intersection is oversaturated and usually results in excessive queues and long delays.

## Required Operating Standards

The study intersection is inside of the city limits of Dayton, WA. Highway 12 is a WSDOT facility and is subject to the LOS standard of C set forth by WSDOT in the *Level of Service Standards for Washington State Highways* document<sup>1</sup>.

## Existing Operating Conditions

The existing traffic operations at the study intersections were determined for the a.m. and afternoon peak hours using the *Highway Capacity Manual, 6th Edition* methodology.<sup>2</sup> The level of service (LOS) and volume to capacity (v/c) ratio of the study intersection is listed in Table 2. As shown, the intersection meets its respective operating standard.

**Table 3: Existing Study Intersection Operations (AM and PM Peak Hours)**

Intersection	Operating Standard	AM Peak		PM Peak	
		LOS	v/c	LOS	v/c
Patit Road/Highway 12	LOS C	A/A	0.03 WB	A/B	0.03 WB

**Two-Way Stop Controlled intersections:**

LOS = Level of Service of Major Street/Minor Street

v/c = Volume-to-Capacity Ratio of Worst Movement

<sup>1</sup> Revised Code of Washington, Section 47.06.140(2), 2010

<sup>2</sup> Highway Capacity Manual, 6th Edition, Transportation Research Board, 2016.

## PROPOSED DEVELOPMENT

The City of Dayton is planning to add a 32-acre parcel of land east of the Patit Road/Highway 12 intersection that is to the UGA that would allow for development of approximately 100 single family houses. There is also an additional 40-acre parcel of land that already exists in the UGA allowing for the development of approximately 120 single family houses. For this study, the 40-acre parcel of land is expected to have access to both Patit Road and Eckler Mountain Road, while the 32-acre parcel of land is expected to only have access to Patit Road

### Trip Generation

Trip generation is the method used to estimate the number of vehicles that are added to the site driveways and roadway network by the proposed project during a specified period (i.e., such as a peak hour or an entire day.) National trip generation rates are provided in the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 10<sup>th</sup> Edition*. Table 5 shows the estimated trip generation for the site.

**Table 4: Trip Generation**

Land Use (ITE Code)	Quantity	Daily Trips	AM Trips			PM Trips		
			In	Out	Total	In	Out	Total
<b>32-acre Parcel Added to UGA</b>								
Single-Family Detached Housing (210)	100 DU	944	18	56	74	62	37	99
<b>40-acre Parcel in Existing UGA</b>								
Single-Family Detached Housing (210)	120 DU	1,133	22	67	89	75	44	119
<b>Total Trips</b>	<b>220 DU</b>	<b>2,077</b>	<b>40</b>	<b>123</b>	<b>163</b>	<b>137</b>	<b>81</b>	<b>218</b>

### Trip Distribution

Trip distribution provides an estimate of where project-related trips would be coming from and going to. The trip distribution was estimated based on existing land uses nearby. All traffic generated by the 32-acre parcel of land is expected to travel through the Patit Road/Highway 12 intersection. All traffic generated by the 40-acre parcel of land heading to and from the north on Highway 12 (20%) is expected to travel through the Highway 12/Patit Road intersection; the rest of the generated traffic is expected to use the site access on Eckler Mountain Road. The trip distribution for the site is shown in Figure 3.

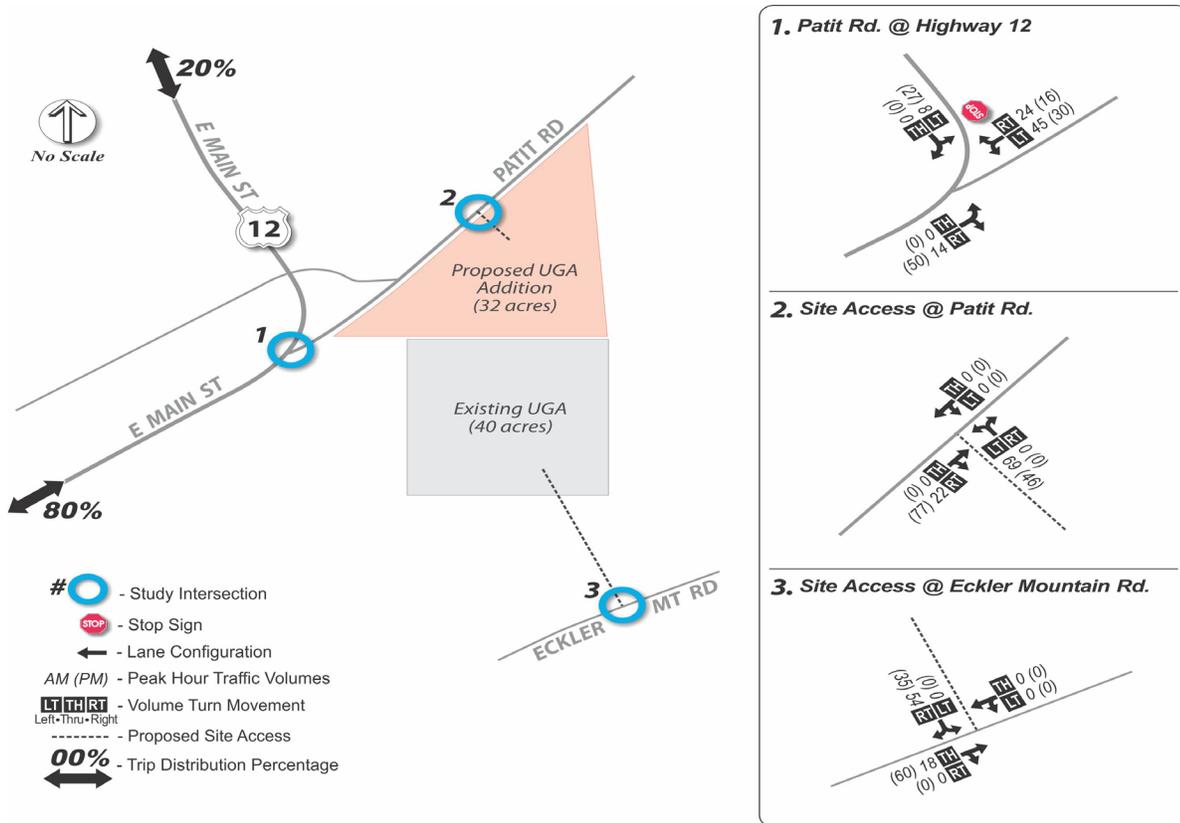


Figure 3: Site Trip Distribution

### FUTURE TRAFFIC CONDITIONS

Future traffic operating conditions were analyzed at the study intersection to determine if the transportation network can support the future residential development. When WSDOT standards are not met, mitigation may need to be considered to improve network performance.

### Future Traffic Volumes

The 2039 Background traffic volumes were developed by adding 20 years of background growth (3%) to the 2019 Highway 12 traffic volumes. There were no approved developments in the project vicinity that were considered in this evaluation. The AM and PM peak hour traffic volumes are shown in Figure 4. The full build-out 2039 AM and PM peak hour traffic volumes including the residential development generated trips are shown in Figure 5.

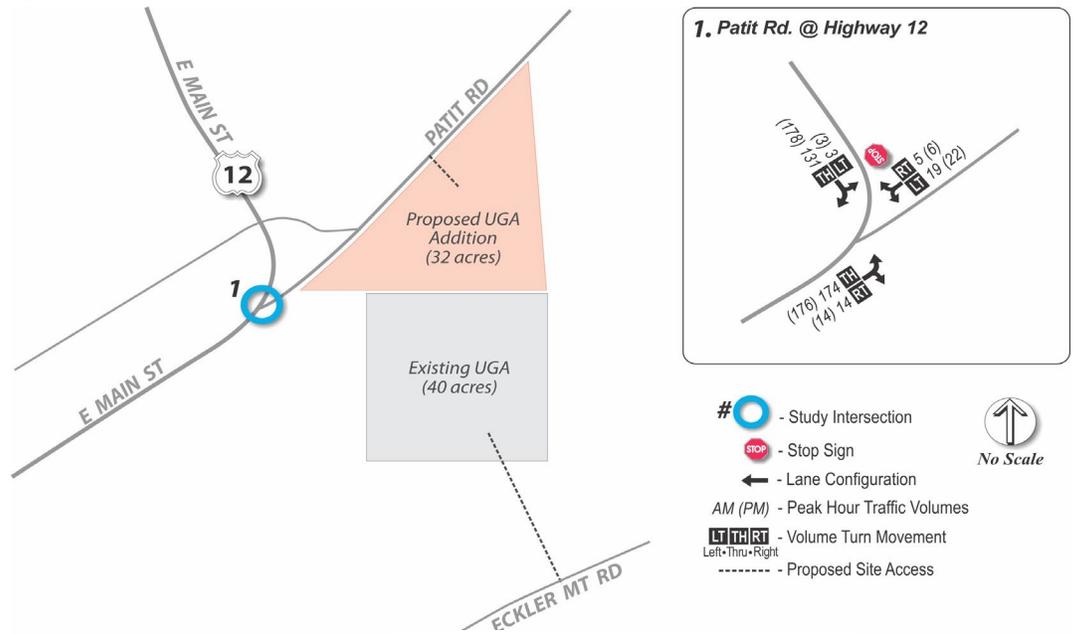


Figure 4: 2039 Background Trips

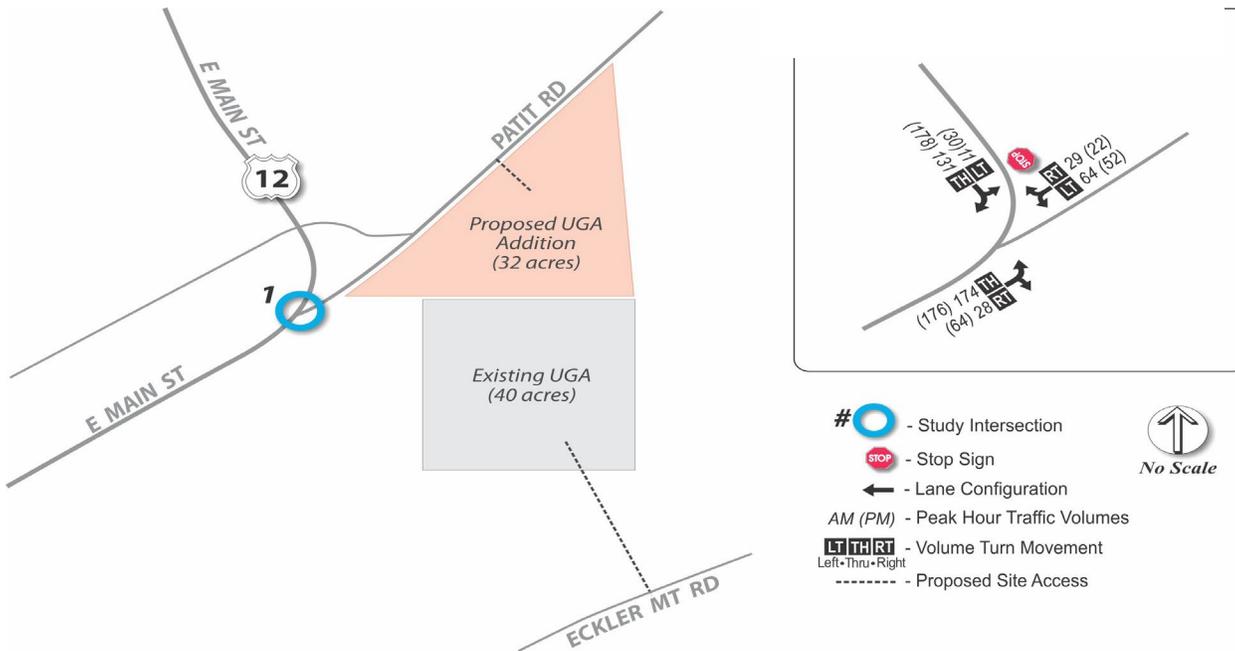


Figure 5: 2039 Background + Development Trips

### Future Operating Conditions

The following section presents the results of the future traffic operations evaluation at the study intersection for a 20 year horizon. Table 6 lists the No Build and Build intersection operations for year 2039. As shown, the Patit Road/Highway 12 intersection meets operating standards with the addition of future growth and project trips.

**Table 5: Future No Build and Build Intersection Operations**

Intersection	Operating Standard	AM Peak		PM Peak	
		LOS	v/c	LOS	v/c
<i>2039 No Build</i>					
Patit Road/Highway 12	LOS C	A/B	0.05 WB	A/B	0.06 WB
<i>2039 Build</i>					
Patit Road/Highway 12	LOS C	A/B	0.19 WB	A/B	0.18 WB

**Two-Way Stop Controlled intersections:**

LOS = Level of Service of Major Street/Minor Street

v/c = Volume-to-Capacity Ratio of Worst Movement

### Queing Analysis

A 95th percentile queuing analysis was conducted at the Patit Road/Highway 12 intersection to evaluate for potential spillback blockage at nearby driveways for the 2039 Full Build-out scenario. Table 8 summarizes the queuing analysis results. As shown, the longest observed queue length was approximately 75 feet on the westbound approach during the AM peak hour. This queue length is not expected to cause any issues.

**Table 6: 2039 Full Build-out Queueing Analysis (AM and PM Peak)**

	AM Peak Hour		PM Peak Hour	
	WB L/R	SB L/T	WB L/R	SB L/T
95th Queue (ft)	75	20	50	40
Average Queue (ft)	45	5	35	10

### Intersection Control

Various potential intersection improvement solutions were evaluated for the proposed Patit Road realignment on Highway 12. The following common intersection control types were considered and are discussed in greater detail in Chapter 1300 of WSDOT’s design manual.<sup>3</sup>

<sup>3</sup> Chapter 1300.03: Common Types of Intersection Control, WSDOT Design Manual, July 2018.

**Two-Way Stop Control** – Two-way stop control requires the traffic on the minor roadway to stop and yield to the mainline traffic before entering the major roadway and is a lower cost control.

**Multi-way Stop Control** – Multi-way stop control usually requires all approaches to stop before entering the intersection and is mainly used for lower speed roadways with similar volumes on all legs.

**Roundabouts** – Roundabouts (or traffic circles) are an intersection control where traffic on the approaches yield to traffic within the circulating roadway. Roundabouts enhance safety while also reducing traffic delays, however cost significantly more than stop controls.

**Traffic Signals** – Signalized intersections allow for more capacity than stop controlled intersections and can be used to improve progression within a coordinated system. MUTCD traffic signal warrants should be met when deciding to install a traffic signal.

Based on the traffic operations analysis performed at the study intersection, a two-way stop control would continue to provide sufficient capacity to the intersection in the future year 2039 full build-out scenario. A two-way stop control is the best option due to the low minor street traffic volumes. Additional development and future minor street traffic growth could eventually warrant a different control type such as a traffic signal or roundabout.

## SUMMARY

The following list summarizes the key transportation findings associated with the proposed development.

- The City of Dayton is planning for the future development of 72 total acres of land in the urban growth area that is located in the vicinity of the Patit Road/Highway 12 intersection in Dayton, Washington.
- The existing Patit Road/Highway 12 intersection currently meets WSDOT operating standards for all scenarios.
- There are some preliminary plans that would allow for development of approximately 220 total single family houses.
- With the addition of the future residential development project trips, the Patit Road/Highway 12 intersection would continue to meet WSDOT operating standards.
- Based on the traffic operations analysis performed at the proposed realigned intersection, a two-way stop control would continue to provide sufficient capacity to the intersection in the future year 2039 full build-out scenario.

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**INTEROFFICE MEMORANDUM**

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**TO:** DAYTON CITY COUNCIL

**FROM:** MEAGAN BAILEY

**SUBJECT:** APPOINTMENT OF RUSTY FIGGINS TO THE DAYTON HISTORIC PRESERVATION COMMISSION

**DATE:** MARCH 13<sup>TH</sup>, 2019

**CC:** FILE

---

**Discussion:**

Rusty Figgins has submitted a letter of interest to serve on the Dayton Historic Preservation Commission. Within that letter of interest, he stated the following:

“I am a history buff, a proponent of historic preservation, an advocate of sympathetic adaptive reconstruction, and have long been a dues-paying benefactor of the National Trust for Historic Preservation. When we lived in my wife's hometown, I was a member of both Historic Ellensburg and Save Our Station in Ellensburg, which successfully restored the Northern Pacific depot there.”

The Dayton Municipal Code offers the following guidance on appointments:

1. 5-18.16 (A) – Appointments shall be made by the mayor and approved by the Dayton City Council.
2. 5-18.16 (B) – The commission shall include at least two professionals who have experience in identifying, evaluating, and protecting historic resources.
3. 5-18.16 (C) – Initial appointment is staggered, based on current term expiries and need.

**Recommended Action:**

Appoint Rusty Figgins to the Dayton Historic Preservation Commission, effective March 13<sup>th</sup>, 2019, with a term ending February 28<sup>th</sup>, 2022.

Regards,

Meagan Bailey, Planning Director

**RESOLUTION NO. 1374**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DAYTON, COLUMBIA COUNTY, WASHINGTON ADOPTING DAYTON RESIDENTIAL HISTORIC DESIGN GUIDELINES**

**WHEREAS**, the Dayton Historic Preservation Commission of Dayton, Washington, is governed by Dayton Municipal Code Section 5-18, ordinance 1935; and,

**WHEREAS**, the intent of the Historic District is to preserve the invaluable historical integrity historic structures and districts within the community while allowing ongoing improvements to the structures within the district; and,

**WHEREAS**, the local residential districts were dissolved in 2016; and,

**WHEREAS**, the current policies regarding Residential Design guidelines were outdated and required updating; and,

**WHEREAS**, the Dayton Historic Preservation Commission worked alongside staff to make recommendation to amend the guidelines for residential design and construction; and,

**WHEREAS**, the guidelines herein are "optional" and available to use by interested landowners to offer guidance and professional assistance while improving their privately owned historical structures; and,

**WHEREAS**, a recommendation was made by the Dayton Historic Preservation Commission on January 23<sup>rd</sup>, 2019, for Dayton City Council to approve the final draft as presented herein.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF DAYTON, WASHINGTON, HEREBY RESOLVES AS FOLLOWS:**

**Attachment 1:** Dayton City Council hereby approves and adopts by reference the Dayton Residential Historic Design Guidelines attached hereto as "Exhibit 1".

**PASSED** by the City Council of the City of Dayton, Washington on this 13<sup>th</sup> day of, February, 2019.

City of Dayton

\_\_\_\_\_  
By: Craig George, Mayor

Attest:

\_\_\_\_\_  
Trina Cole, City Clerk-Treasurer

Approved as to form:

\_\_\_\_\_  
Quinn Plant, City Attorney

# Dayton Residential Historic Design Guidelines

Created by

**Dayton Historic Preservation Commission**

*January 23<sup>rd</sup>, 2019*

These Guidelines have been financed in part with Federal funds from the National Park Service, Department of the Interior administered by the Department of Archaeology and Historic Preservation (DAHP) and the Dayton Historic Preservation Commission (DHPC). However, the contents and opinions do not necessarily reflect the views or policies of the Department of the Interior, DAHP, or DHPC.

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# I. INTRODUCTION AND OVERVIEW

## HISTORIC PRESERVATION AND IT'S VALUE

### 1. WHAT IS HISTORIC PRESERVATION?

Historic Preservation is an umbrella term used to describe one of the many ways a community can direct the forces of change, integrating local history with the growth and development that are necessary for cultural and economic vitality. At its simplest, historic preservation is a way to provide for the continued use of historic buildings and sites.

Preservation includes rehabilitation, restoration, and adaptive use and is often accompanied by a set of design principles. Design guidelines can show property owners how to retain the form, integrity, materials, craftsmanship, and character-defining features of a historic building. They can further encourage new construction that is compatible with surrounding historic buildings and sites. In a larger sense, historic preservation is essential to the livability of a community. With an historic preservation program in place, a community is given the comfort of familiar surroundings and tangible reminders of the past that offer many opportunities for education and recreation. Historic preservation is a hallmark of a livable community, providing a vision for economic and social well-being.

### 2. HISTORIC PRESERVATION FOSTERS DAYTON'S SENSE OF PLACE

Continuity is essential to a sense of place, a necessary component for a small town seeking to maintain its identity and livability in the face of change. By linking the physical reminders of our town's past, our historic streetscapes and buildings to the present, we prepare for a future that upholds our unique sense of place. Historic Preservation offers us a way to safeguard the particular identity we call Dayton.

### 3. PARTICIPATION IN HISTORIC PRESERVATION

As you participate in Dayton's historic preservation program, you contribute to the beauty, friendliness, and safety that our community deeply values. By preserving the character of a historic building, you bring the familiarity of the past into the future; you ensure that the people and families who built our historic buildings, who lived and worked in them, are remembered and honored. Participation in our community's on-going traditions and history creates reciprocity, and mutually supportive social and economic relationships.

Dayton is a community where citizens find many ways to express their support, admiration and their gratitude to those who safeguard historic buildings and those who construct new buildings that are congenial with our small-town nature and complement our distinct historic character. Our social, civic, and economic lives are improved when buildings and streetscapes are oriented to people, satisfying needs for beauty, order, friendliness, commerce, and social interaction. Dayton's residents and visitors alike thank you for your contribution to their economic and social well-being and for your sharing in our community's vision for the future.

## NEED AND PURPOSE

With their historic houses and tree-lined streets, Dayton's older neighborhoods form a critical part of the city's character and sense of place. They trace Dayton's built history and manifest a defining and unique character. The intent of these guidelines is to preserve the historic qualities of Dayton's individually listed historic properties while allowing neighborhoods to remain vital and fluid so that they are livable by today's cultural standards.

These Design Guidelines encourage a goal of quality development in Dayton. Property owners can accomplish this goal through alterations that are congruous (harmonious) with the character of the neighborhood. Design principles embodied in these Guidelines should encourage creative solutions that will enhance the character of a neighborhood.

Dayton's residential properties are architecturally diverse and has already experienced change; continued change is therefore expected. Change is the natural outcome of an evolving, healthy neighborhood. Historic preservation is not about slowing or hindering development, but rather emphasizing the value of what we already have.

Additionally, Dayton's historic properties represent and comprise special community qualities that draw residents to live, work, and invest here. Historic registry designation offers residents confidence that the character of their property will be protected through historic preservation laws, ordinances, and processes.

### 1. Purpose of Design Guidelines

The purpose of design guidelines for Dayton's historic properties is to provide guidance to property owners, architects, designers, builders, City staff, the Historic Preservation Commission and City Council. These Guidelines provide direction on preserving the integrity of the community's historic resources through congruous alterations. Congruous in this instance focuses attention on mass, size, scale, and architectural features that characterize the property. These Guidelines also indicate an approach to design that will help sustain the character of the neighborhood that is so appealing to residents who already live there. Another purpose is to provide information about basic principles of urban design, not just historic preservation. These Guidelines encourage property owners to make design decisions which promote an environment that is scaled to the pedestrian, maintains cohesive neighborhood identity and respects the unique natural setting of old Dayton neighborhoods.

The Guidelines further provide Dayton residents, through the Dayton Historic Preservation Commission, a basis for making informed, consistent decisions about proposed alterations to buildings and sites in the community through its formal permitting process. When the Guidelines are followed carefully, they will provide uniform review and increased predictability, while serving as a means to prevent delays and minimize added costs to listed property owners. The Guidelines work best when used as the benchmark during early stages of project conception and design.

The historic residential design review process utilizes design guidelines to guide consistent review of applications for major modifications to existing historic properties. Building owners listed on the historic registry must apply for a **Certificate of Appropriateness** (COA) with the Dayton Planning Department before they can proceed with any construction activity. The COA is granted by the Dayton Historic Preservation Commission, a volunteer group of citizens appointed by the mayor and council that evaluates the application against the design guidelines in order to determine acceptance, rejection or modifications required. The County

Planner has been granted the authority to approve minor exterior alteration requests without Commission review. Significant changes that may require greater discretion and interpretation require Commission review and approval.

Although the design guidelines are written so that they can be used by the layman to plan improvements, property owners are strongly encouraged to enlist the assistance of qualified design and planning professionals, including architects and preservation consultants.

A glossary of terms is provided for the words in bold.

## PRESERVATION CONCEPTS

Each historic property has a “Period of Significance” which is the time during which the property gained its architectural and historical importance. Generally, 50 years is considered the time that must pass before a property or a collection of properties can be evaluated for historic significance. In addition to being from a historical period, a property must possess integrity. By law, the term "historic property" means any building, structure, area or site that is significant in the history, architecture, archeology, or culture of this state, its communities, or the nation. The concept of “integrity” is relevant within the historic districts because it establishes whether a sufficient percentage of the structure, area, or site dates from the period of significance. In the case of homes that are “**contributing**” the majority of the building's structural system and materials date from the period and character-defining elements of the architectural style such as the mass and form remain intact.

The City's intent is to protect the heritage of Dayton's historic properties.

These Guidelines will be the main source in determining the congruity of proposed **EXTERIOR** changes in residential properties that are visible from the public street.

## THE DAYTON HISTORIC PRESERVATION COMMISSION

### 1. Why Was the Commission Formed?

The Dayton City Council created the Historic Preservation Commission as an advisory body to consider and recommend to the Council measures that will encourage and foster preservation of lands, sites, and structures that have identifiable historic significance, Dayton Municipal Code (DMC) 5.18.

### 2. What Does the Commission Do?

The Historic Preservation Review Commission actively implements the historic and cultural goals outlined in the Dayton Comprehensive Plan and the enabling legislation for historic preservation.

*The Commission's Broad Tasks Include the Following:*

- a. ADVANCE PUBLIC AWARENESS OF OUR TOWN'S HERITAGE:
  - i. Educate the public about Dayton's cultural and physical heritage; familiarize the public with the means of safeguarding our historic sites, structures, and streetscapes.

- ii. Cultivate public awareness of the unique features that characterize historic properties; further an understanding of how each property, singly and in combination, contributes to Dayton's sense of place.
  - iii. Foster community spirit and pride by encouraging activities that celebrate our town's sense of place and heritage.
- b. PROMOTE DESIGN AND CONSTRUCTION THAT HONOR OUR TOWN'S HISTORY AND SENSE OF PLACE:
  - i. Stress authenticity and integrity of design in the rehabilitation of historic building and in the construction of new buildings.
  - ii. Publicly honor examples of new construction and rehabilitated structures that demonstrate excellence and compatibility in design.
  - iii. Offer property owners hands-on experience and guidance for adapting and changing both residential and commercial structures to meet the demands of modern life and realities, while at the same time preserving their significant original qualities.
  - iv. Consult with property owners to help them find the most practical and cost-effective means of maintaining and developing their property in accordance with the design guidelines in this manual.
  - v. Identify and assist in resolving conflicts between the preservation of historic structures and issues of zoning and other land use constraints.
- c. ENCOURAGE A LIVELY STREET ENVIRONMENT BY by maintaining a pedestrian-friendly streetscape. Promote designs that enhance cohesiveness, compactness, and social interaction.
- d. PROMOTE AWARENESS OF THE ECONOMIC BENEFITS OF HISTORIC PRESERVATION AND DESIGN REVIEW. In particular, recognize the economic value of heritage tourism and support that value by providing visitors and tourists with a visually appealing and historically engaging town. Additionally, educate home owners on the availability of Tax Valuation for rehabilitation of historic homes and support applicants through the process.

### 3. How Were the Design Guidelines Developed?

Members of the Dayton Historic Preservation Commission directed the process and executed the many tasks involved in the development of the Design Guidelines.

The Commission members set out on foot to investigate each street and began the efforts by noting their first impressions and establishing a general overview. Observation then proceeded to the particular as members considered such features as topography, setting, vegetation, setback, scale, mass, roofs, **fenestration**, entrances, materials, rhythm and pattern, and association and feeling. These walking tours sparked lively and clarifying discussions and brought each member to a new visual awareness of the town. The resulting documentation, compiled from the members' written descriptions of the streetscapes, provides the foundation for these Guidelines.

With the help of photographs collected from several sources, the historic character of the two Districts were identified and then compared to present conditions. The Commission considered the degree of diversity within an individual neighborhood and determined how newer structures either complemented or detracted from the historic context and predominant patterns. The Commission analyzed the degree of continuity from past to present and ascertained that historic features continue to predominate throughout the Districts, its neighborhoods and streetscapes. Included in this analysis was an architectural description of each designated historic structure, including an assessment of its integrity.

The Commission then developed design guidelines to encourage and assist in the preservation of these identifiable historic features and incorporated an extensive public involvement effort. The Commission held one workshop and a public hearing prior to finalizing the guidelines prior to submitting to the City Council for their review, approval, and adoption process.

The South Side Local Register Historic District and the Washington Street Local Register District were repealed in 2016 per Ordinance No. 1899. However, property owners in those former historic districts, or anywhere else in Dayton, may choose to submit nominations for individual listing of their historic properties on the Dayton Register of Local Historic Places.

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## **OBJECTIVE OF THE DESIGN GUIDELINES**

The guidelines offer a step-by-step design approach for all projects undertaken by properties listed on the local historic register.

THESE GUIDELINES ARE INTENDED TO:

1. PRESERVE THE EXISTING HISTORIC CHARACTER and distinct appeal of properties listed in the Dayton Register of Local Historic Places.
2. *FURTHER BUILD UPON THE STRONG HISTORIC FEATURES of these streetscapes and significant structures.*
4. PRESENT AFFORDABLE, ACHIEVABLE METHODS for the rehabilitation or alteration of existing structures in accordance with the design guidelines.

## II. THE REVIEW PROCESS

### OVERVIEW OF PROCESS TO OBTAIN COA

#### PRE-APPLICATION CONSULTATION

Because building design is an evolving process, informal consultation with the Columbia County Planner at the outset can be very helpful. Applicants may contact the Planner at the Planning and Building Department to become acquainted with the design guidelines and the review process and to schedule discussions with the Commission before initiating the design phase. The Planner and the Commission offers its services and expertise in order to suggest practical and cost-effective design information that may save the applicant time and money during the design process. Some rehabilitation activities may not require Commission approval and can be approved by the Planner.

Before a building permit can be issued to a property listed on the local historic register, property owners or applicants undertaking a building project to rehabilitate or alter a historic structure are required to meet with DHPC for a formal review of their plans unless plans are approved by the County Planner.

When reviewing a property owner's plans, the DHPC considers not only the design elements of an individual building but also the relationship of that building to the streetscape, neighborhood, and the natural landscape. Particular attention is paid to identifiable historic features. By providing a property owner with support in using the Design Guidelines, the Commission aims to ensure that rehabilitation, alteration, and new construction are compatible with the character-defining features, singly and in combination, that distinguish historic properities.

*Please note: The Dayton Historic Preservation Commission does not review interior alterations that do not affect the exterior appearance of a building or alterations that are not visible from the public street.*

COA APPLICATIONS ARE REVIEWED BY THE COMMISSION AT REGULARLY SCHEDULED MEETINGS NOT LESS THAN SEVEN DAYS AND NOT MORE THAN 30 DAYS FROM RECEIPT. IN CIRCUMSTANCES THAT REQUIRE AN EXPEDITED REVIEW, THE COMMISSION WILL MAKE EVERY EFFORT TO OFFER A SPECIAL MEETING SOLELY FOR THE PURPOSE OF REVIEWING A COA APPLICATION. SPECIAL MEETINGS WILL BE COORDINATED BY THE PLANNER.

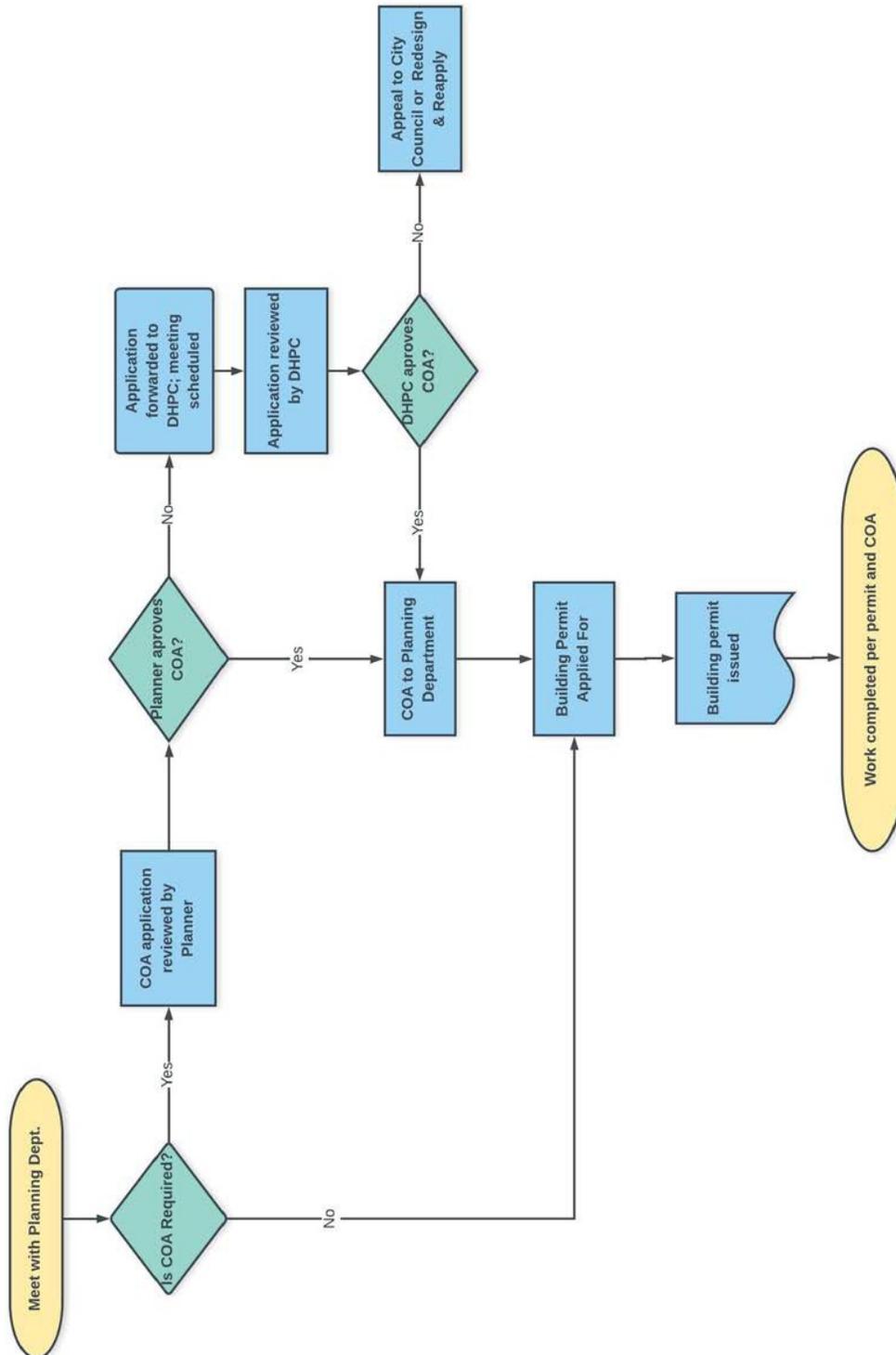
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## MATERIALS NEEDED FOR THE REVIEW PROCESS

To facilitate the COA review process, help with design solutions and offer informed recommendations to applicants during the review process, the Historic Preservation Commission requires submittal of a COA application. Pre-consultation with the Planner will provide guidance to the applicant on what of the following information will be needed as part of the COA application to conduct the review:

1. A COMPLETED APPLICATION FOR COA which is available from the Dayton Planning Department or online at [www.columbiaco.com](http://www.columbiaco.com). Include a description of the proposed modifications to the existing building.. Consider: Does the proposed work alter or affect the character defining features of the existing building?
2. DRAWINGS, if applicable and as appropriate, including:
  - a. Site Plan that indicates the dimensions of the lot, the location of existing buildings, and the location of additions or new buildings. Also to be indicated: parking, signs, fencing, and open areas.
  - b. Floor Plan
  - c. Exterior elevations, including window designs and exterior lighting
  - d. Sketches
  - e. Sectional views
  - f. Sign design
  - g. Detailed drawings of new or altered architectural and trim
3. A DESCRIPTION OR SAMPLE OF NEW EXTERIOR MATERIALS to be used, including but not limited to the types of windows, roofing, and siding.
4. HISTORIC PHOTOGRAPHS: When reviewing projects on the local historic register, the DHPC refers to historic photographs of the property. Applicants should feel free to use such photographs as an aid during the planning and review process. Many historic and "as is" photographs of historic structures and streetscapes can be found in the Dayton Planning Department, and copies are available to applicants.

# THE COA REVIEW PROCESS CHART



### III. LOCAL DESIGN GUIDELINES – RESIDENTIAL REHABILITATION AND RESTORATION

THE FOLLOWING GUIDELINES ARE BASED UPON THE NATIONAL STANDARDS (SEE APPENDIX).

#### Intent

To provide convenient guidance, promote long-term preservation of property values through livability, and to maintain the historic character of individually listed historic properties.

#### General - Establishing the area of work

A Certificate of Appropriateness from the DHPC for **rehabilitation** and/or **restoration** work may be required prior to obtaining a building permit from the City of Dayton. Consult with the Dayton City Planner to ascertain what steps (if any) are required for your specific project.

Additions or modifications to existing homes and/or structures are considered rehabilitation. For guidance on new, stand-alone construction (e.g. a new outbuilding) not attached to an existing home and/or structure, refer to the section for New Construction.

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#### PROPERTIES WITH NON-CONTRIBUTING BUILDINGS

Alteration of non-historic, **non-contributing** residences and commercial buildings should reflect and be guided by the principles of the design of nearby historic structures and the character of the streetscape, including:

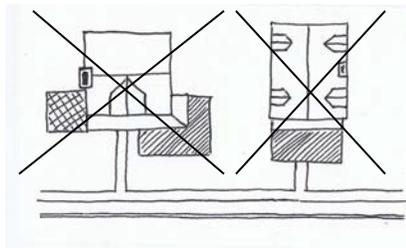
1. Alterations should be compatible in size, scale, material, and character with the existing house, nearby historic buildings, houses, and the streetscape.
2. Additional stories or elements that heighten the structure should be in harmony with the existing house, nearby historic buildings and the streetscape.
3. The proportions of primary **façades** should be in keeping with the existing house and be in harmony with those of nearby historic residences and/or structures.
4. Windows, entryways, and inset porches should be in the same proportions as the existing house and in harmony with those of nearby historic residences and/or structures.

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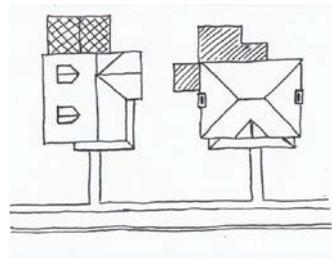
## PROPERTIES WITH CONTRIBUTING BUILDINGS

### 1. Streetscape Integrity and Additions

- a. Use materials and construction details that are compatible with surrounding significant historic buildings.
- b. Original architectural details and materials of the primary structure should remain on the structure unless they are being repaired, or replaced with replicas. This includes any second or third story of an historic structure and historic stone retaining walls.
- c. New designs that create an appearance inconsistent with the historic character of the building are inappropriate.
- d. New additions or alterations shall not hinder the ability to interpret the design character of the historic building.
- e. Alterations that cover significant historic features are also inappropriate.
- f. An addition shall be made distinguishable from the original building, even in subtle ways, so that the character of the original can be ascertained, such as creating a jog in the foundation between the original and new structures , or applying a new trim board at the connection point between the addition and the original structure.
- g. An addition should relate to the historic building in mass, scale and form. It shall be designed to remain subordinate to the main structure.

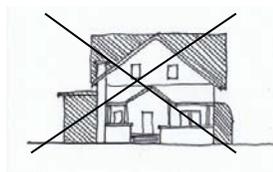


Inappropriate



Appropriate

- h. Locating an addition at the front of a structure is inappropriate.
- i. An addition shall be set back from any primary, character-defining façade.
- j. While a smaller addition is visually preferable, if a residential addition would be significantly larger than the original building, one option is to separate it from the primary building, when feasible, and then link it with a smaller connecting structure.
- k. The addition should not overhang the lower floors of the primary building in the front or to the side. This will help maintain the original profile of the building.
- l. For additions to existing buildings, original entrances, front porches, and projecting features, such as balconies, bays, and dormer windows, shall be retained or restored.
- m. Original second or third stories shall not be removed in order to add a new addition to the building or to lower the roof, unless it is the only feasible option to rehabilitate a building.



**Inappropriate**

Dormers are oversized and not scaled subordinate to the primary roof mass, side extensions have different roof slopes from the main roof.



**Appropriate**

Dormer scale is subordinate to main roof mass, side extension is a continuation of roof slope.

- n. When constructing a **rooftop addition**, keep the mass and scale subordinate to the primary building.
- o. A rooftop addition (defined as any feature altering the original roof shape or design) shall be set back from the front of the building. This will help preserve the building's proportions as seen from the public street.

## 2. Siding

Original siding materials should be retained. Materials used on additions shall be compatible with the predominant materials used on the original structure.

- a. Maintain the existing range of exterior wall materials found in the historic district.
- b. Exterior wood finishes shall appear similar to those historically used. The lap dimensions of siding should be similar to that found traditionally.
- c. Newer siding materials may be considered, if they appear similar in character and detailing to traditional building materials (e.g. siding lap dimensions).
- d. Use of new materials shall have a demonstrated durability in this climate and have the ability to be repaired under reasonable conditions.
- e. Appropriate materials for primary structures include horizontal lap **siding**, shake shingles, board and batten, stucco and brick. Vinyl siding is not a suitable product to use on existing portions of historic homes within the Districts.
- f. Details of siding should match those of traditional wood siding.
- g. Reflective materials, such as mirrored glass or polished metals, are inappropriate.
- h. Restoration of original colors, or colors appropriate to the style and era of the building is encouraged.

## 3. Painting

Paint type and color is not enforced under these guidelines and does not require a COA. The following are tips and recommendations made available to home owners for their reference.

Property owners are encouraged to select paint colors suitable to the style and era of their home. A historically accurate color guide for historic homes can be found at most building, paint or hardware stores in addition to the Internet. Look for “historic” color palette examples.

- a. Painting, as part of building maintenance, is an important element in the preservation of an historic structure.
- b. While color choice is a personal decision of the property owner, consider how your building’s colors will fit harmoniously into the neighborhood while expressing your individuality.

- i. When designing a color scheme, consider the entire composition. The body of the main façade is a major surface and a color scheme for the body and trim should be chosen.
  - ii. Choose the number of colors sparingly. Three colors are usually typical; don't forget the roof color and how it plays into the color palette.
  - iii. The final color will look different than the paint chip. Paint a small area to get the actual effect.
  - iv. Employ color schemes that are simple. One muted tone of base color for body, 1-2 accent colors are typical. Use of matte finishes is preferred and reserve bright colors for accents such as highlighting an entry.
- c. Some examples of styles and coordinating colors can be a starting point. For the historic Districts the following are a few suggestions:
- i. Victorian (1840-1900) - Dark mulberry, deep blue, medium grey, dark ochre, ginger, moss green, brick red, slate, and buff (and any of the varying shades of these).
  - ii. Colonial Revival (1900-1940) - Mid-blue, gray, pale green, taupe, and white (and any of the varying shades of these).
  - iii. Arts and Crafts - Brown, taupe (and any of the varying shades of these).

#### 4. Windows

Many of the most defining features of an historic structure are tied to the windows of the front façade. Windows are important elements in the composition of a building and are typically highlighted or accented. Each architectural style typically has its own style of window.

- a. Vinyl windows are not recommended but are permitted.
- b. Attention to the detail of the size, scope, placement and features (e.g. **double hung**, wood casing) should be considered when replacing or renovating windows in the Districts with newer, energy efficient windows.
- c. Window size and spacing depends on the architectural context. Historically, vertically formatted, double hung, **single hung**, and **casement windows** are typical. These window formats have wide vertical trim (typically a minimum of 3 to 5 inches) and a wider **cornice** at the top that is at least 20% taller. All windows should have sills.

- d. Multi-paned windows, with wood or lead **muntins**, are appropriate. The intent is that the window glass plane appears to be set back from the plane of the exterior wall.
- e. Horizontal sliding windows are inappropriate in the front of the building.
- f. If existing windows with **divided lites** are being replaced, the new windows shall either have **divided lites** or simulate that effect.
- g. Beveled glass windows should be retained.
- h. Storm windows and screens are allowed.
- i. For additions the following should be considered:
  - i. Match the existing windows when replacing deteriorated windows or when adding new windows.
  - ii. Maintain attention to the size, scope, placement and features when replacing or renovating windows in the District (e.g. double hung wood window with **divided lites** with vertical proportions).

## 5. Doors

The front door is one of the most defining features of a building and is the most welcoming element. Doors and screen doors reflect the architecture of the structure.

Doors are important elements in the composition of a house and are typically highlighted or accented.

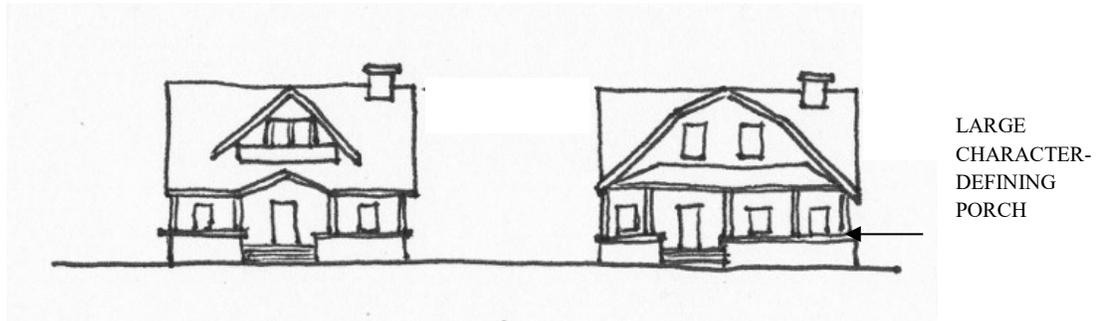
- a. Match the existing or a historically accurate front door when replacing a front door.
- b. Take care not to change the scale or design of the entry door or sidelites if applicable.
- c. Screens for the front door should be compatible with the style of the house.

## 6. Porches

Many of the historic homes throughout Dayton have porches. The prominent architectural styles during the development of the historic areas, such as **Bungalow** and **Queen Anne**, included front porches in their design.

Porches enhance a neighborhood for many reasons. They offer a place for people to partake in the activity of the neighborhood. They also contribute to the safety of the neighborhood because people are able to watch the street and each other's houses.

Exterior remodeling shall incorporate/preserve front porches that are large enough for people to sit and observe the public life of their street and neighborhood. Be sure to check the City of Dayton Zoning Ordinance for setback requirements.



- a. Existing historic porches that are primary or character defining shall not be enclosed.
- b. Secondary porches may be enclosed if configured in such a manner that the historic character of the porch and the house is still visible.
- c. If a porch replacement is necessary, reconstruct it to match the original in form and detail.
- d. Use a one-story porch element to define the entry.
- e. Orient the front of a house to the street and clearly identify the front door.
- f. A prominent entry will contribute to the pedestrian-friendly character of the street.
- g. The use of a porch is encouraged in any residential development. A porch shall be similar in character, design, scale, and materials to those seen traditionally in the neighborhood.
- h. The size of a porch should relate to the overall scale of the primary structure to which it is attached.
- i. A porch shall use compatible materials to that of the primary structure.
- j. Porch supports shall be of a substantial enough size that the porch does not appear to float above the entry.

- k. Porch columns should be similar to those historically found.
- l. Wood columns are appropriate for most structures in the historic Districts.
- m. Avoid decorative elements that are not known to have been used on your house or others like it.
- n. On buildings where no evidence of a porch exists, a new porch may be considered that is similar in character to those found on other representative buildings if architecturally appropriate to the overall design of the building.

## 7. Awnings and Canopies

- a. If a building features awnings in historically appropriate materials, they may be retained and replaced with similar materials, such as canvas.
- b. Awnings and **canopies** should be replaced with like materials. Plastic or vinyl awnings are inappropriate.
- c. For new awnings and canopies, see the New Construction section.

## 8. Roofs

- a. Repairs and alterations of the roof should retain the original roof shape and pitch, original structural and decorative features such as **gables**, **dormers**, chimneys, cornices, **parapets**, **pediments**, **frieze boards**, exposed rafters, and other ornamental details and original types, sizes, and patterns of roofing materials.
- b. When adding a dormer to an existing roof, it shall be in character with the primary structure's design and not change the overall proportions or character.
- c. Cedar shingle and composition roofs are historically accurate. Composition shingles should be of an architectural quality to simulate the original cedar shingle. Other materials may be used upon approval if they convey the scale and texture of the original shingle.
- d. Skylights should be flat. Roof venting shall not significantly alter the appearance of historic homes.
- e. The roof of an addition shall be compatible with the roof of the primary building.

## 9. Foundations

- a. Changes to the foundation shall be compatible with the original foundation in height, material, materials, and architectural style.

- b. Stone and brick details are common in the historic areas of the city.
- c. Concrete foundations and CMU foundations with a stucco or skim coat are acceptable.

## **10. Mechanical and Electrical Equipment**

Mechanical and electrical equipment are recognized as necessary elements of modern living. Their disposition in relation to an historic structure, property and District requires discretion and care so that the historic character remains intact. The following elements shall be situated in the least visible location from public streets: satellite dishes, air conditioners, heat pumps, attic fans, solar panels, and other such equipment.

## **11. Accessory Buildings**

**Accessory buildings** or those buildings secondary to the primary structure or residential living spaces are often overlooked. Many accessory buildings were designed as a part of the original plans for the lot, often constructed in duplicate. Many of the garages face alleys that are, in themselves, of strong architectural design. Respecting the historic accessory buildings and their use is important and maintaining them shall be a priority.

**Existing historic accessory buildings that are listed under the historic designation for contributing properties in their nomination form shall follow the preceding guidelines for all alterations or rehabilitation activities that are visible from the public street.**

## **12. Handicap Accessibility**

Actions required to adapt an existing home to accommodate handicap accessibility is supported by the DHPC. Follow the outlined COA Review Process for actions that affect the exterior of the building that can be viewed from the public street.

The addition of ramps to the exterior of homes is allowed; however, the construction of the ramp must not destroy character-defining elements of the historic structure and should be designed and constructed in such a way that disassembly in the future does not require demolition or alteration to the primary structure.

## IV. LOCAL DESIGN GUIDELINES – RESIDENTIAL NEW CONSTRUCTION

### 1. Intent

To provide convenient guidance, promote long-term preservation of property values through livability, and to maintain the historic character of Dayton’s individually listed historic properties.

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#### GENERAL - ESTABLISHING THE AREA OF WORK

These guidelines shall apply to all new buildings associated with an individually listed property, and only to portions of the exterior of such buildings visible from the public street. Note: buildings of residential or single-family character that have commercial uses are not exempt from these guidelines. Bed and Breakfast accommodations are an example of a commercial use in a residential style building.

When reconstructing a structure or constructing a new structure on a listed property, one must consider the size, scale, and design of the other historic structures within that neighborhood. This includes garages and other detached buildings or rebuilding of primary structures due to fire or other disaster. A Certificate of Appropriateness from the DHPC for any new construction is required prior to obtaining a City of Dayton building permit.

Accessory buildings shall be limited to the rear and side yards where they are minimally visible from the public street and shall be designed to have the least impact upon character defining features of the primary structure. The relationship of height to width of any new accessory structure and their sub-elements, such as windows and doors, and of alterations shall be compatible with the character of the primary structure. The relationship of wall to window shall also be compatible with related elements of existing structures on the building lot or with the historic character of the surrounding area.

New accessory structures that can be seen, entirely or partially, from the public street shall also use the style, and materials of the existing house.

Properties shall be oriented to the street rather than to the rear or entrance side yard. Primary entrances, large windows, and porches face the street. Refer to the City of Dayton Zoning Ordinances for setback requirements. Use materials and construction details that are compatible with surrounding significant historic buildings.

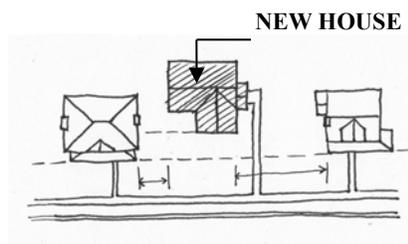
## PROPERTIES WITH NON-CONTRIBUTING BUILDINGS

New construction on properties of non-contributing residences and commercial buildings should reflect and be guided by the principles of the design of nearby historic structures and the character of the streetscape, including:

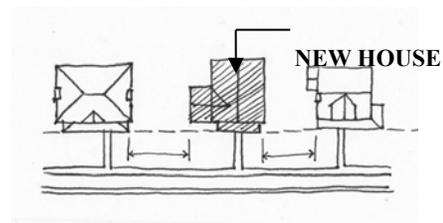
- Compatible in size, scale, material, and character with the existing house, nearby historic buildings, houses, and the streetscape.
- The proportions of primary façades should be in keeping with the existing house and/or be in harmony with those of nearby historic residences and/or structures;
- Windows, entryways, and inset porches should be in harmony with those of nearby historic residences and/or structures.

## PROPERTIES WITH CONTRIBUTING BUILDINGS

### 1. Streetscape Integrity



**Inappropriate**

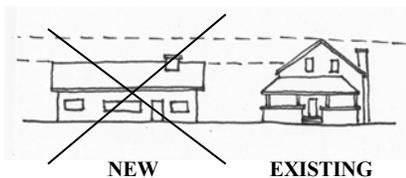


**Appropriate**

- a. Provide architectural continuity with surrounding buildings.
  - i. Maintain consistent side setbacks between buildings. This produces a streetscape rhythm for the neighborhood.
  - ii. Maintain consistent front setback with adjacent buildings. This presents a unified façade for the neighborhood and creates cohesiveness.
  - iii. Entrance to building should be on the main façade and face the street, avoid entry on the side.

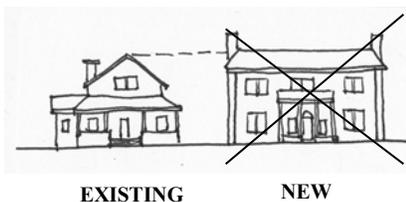
b. Historic stone retaining walls shall be preserved.

c. Provisions for new structures are as follow:



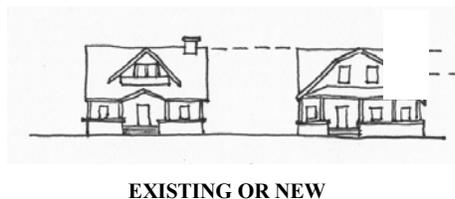
**Inappropriate**

Height and scale of new building is different from the existing.



**Inappropriate**

Height is the same but mass of new building is different from the existing.



**Appropriate**

Height, scale, and mass of new building is the same as the existing.

- i. New construction shall be compatible in height, scale, mass, materials and character with the main or neighboring building.
- ii. Height of any building shall not exceed City of Dayton Ordinance.
- iii. The roof form of a new structure shall be compatible with that of the primary building or adjacent buildings.

## 2. Siding

Siding materials used on new buildings shall be consistent with predominant materials used on buildings of similar architectural style.

- a. Exterior wood finishes should appear similar to those historically used.
- b. The lap dimensions of the siding should be similar to historically used lap siding.

- c. Vinyl siding is not an acceptable product to use on existing portions of historic homes. However, it may be used on newly built homes where vinyl is the siding of the primary structure.
- d. Newer siding materials may be considered, if they appear similar in character and detailing to traditional building materials (e.g. lap dimensions).
- e. Use of new materials shall have a demonstrated durability in this climate and have the ability to be repaired under reasonable conditions.
- f. Appropriate materials for primary structures include horizontal lap siding, shake shingles, board and batten, stucco, and brick.
- g. Details of siding and shingles should match those of traditional wood.
- h. Reflective materials, such as mirrored glass or polished metals, are inappropriate.

### **3. Painting**

Paint type and color is not enforced under these guidelines and does not require a COA. The following are tips and recommendations made available to home owners for their reference.

A historically accurate color guide for historic homes can be found at most building, paint and hardware stores in addition to the Internet. Look for “historic” color palette examples.

Property owners are encouraged to select paint colors suitable to the style of their home. While color choice is a personal decision of the property owner, consider how your building’s colors will fit harmoniously into the neighborhood while expressing your individuality.

- a. When designing a color scheme, consider the entire composition. The body of the main façade is a major surface and a color scheme for the body and trim should be chosen.
- b. Choose the number of colors sparingly. Three colors are usually typical; don’t forget the roof color and how it plays into the color palette.
- c. The final color will look different than the paint chip. Paint a small area to get the actual effect.

- d. Employ color schemes that are simple. One muted tone of base color for body, oneto two accent colors is typical. Use matte finishes and reserve the bright colors for accents such as highlighting an entry.
- e. Some examples of styles and coordinating colors can be a starting point. For the historic Districts the following are a few suggestions:
  - i. Victorian (1840-1900) - Dark mulberry, deep blue, medium grey, dark ochre, ginger, moss green, brick red, slate, and buff (and any of the varying shades of these).
  - ii. Colonial Revival (1900-1940) - Mid-blue, gray, pale green, taupe, and white (and any of the varying shades of these).
  - iii. Arts and Crafts - Brown, taupe (and any of the varying shades of these).

#### 4. Windows

Many of the most defining features of an historic structure are tied to the windows of the front façade. Certain, and often specific, styles of windows reflect the style of the architecture of the house.

- a. Vinyl windows are not recommended but are acceptable.
- b. Window size and spacing shall depend on architectural context. Historically, vertically formatted, double hung, single hung, and casement windows are typical. These window formats have wide vertical trim (typically a minimum of 3 to 5 inches) and a wider cornice at the top that is at least 20% wider. All windows should have sills.
- c. Windows shall be compatible with the architectural style of the structure.
- d. Maintain attention to the detail of the size, scope, placement and features when selecting windows.
- e. Multi-paned windows, with wood or lead **muntins**, are appropriate. Where new windows are to be used (e.g. vinyl or metal clad), trim details shall resemble historic windows by using simulated lites, sills and similar trim width. The intent is that the window glass plane appears compatible with historic windows.
- f. Horizontal sliding windows are inappropriate in the front of the building.

## 5. Doors

The front door is one of the most defining features of a building and is the most welcoming element. Doors and screen doors reflect the architecture of the structure.

Attention to the front door is very important. The scale and detail shall be compatible with the architecture of the structure.

## 6. Porches

Continue the use of porches in historic properties. Be sure to check the City of Dayton Zoning Ordinances for setback requirements.

Many of the historic properties in many of the neighborhoods throughout Dayton have porches. The prominent architectural styles during the development of the historic areas, such as **Bungalow** and **Queen Anne**, included front porches in their design.

Porches enhance a neighborhood for many reasons. They offer a place for people to partake in the activity of the neighborhood. They also contribute to the safety of the neighborhood because people are able to watch the street and each other's houses.



New construction that incorporates front porches should be large enough for people to sit and observe the public life of their street and neighborhood.

- a. Primary character defining porches shall not be enclosed.
- b. Secondary porches may be enclosed if configured in such a manner that the historic character is still visible.
- c. Use materials that will appear to be in harmony with nearby historic homes.
- d. Orient the front of a house to the street and clearly identify the front door.
- e. The use of a porch is encouraged. A porch should be similar in character, design, scale and materials to those seen traditionally in the neighborhood.

- f. Avoid decorative elements that are not known to have been used on the style of house being built.
- g. Porch supports should be of a substantial enough size that the porch does not appear to “float” above the entry.
- h. Brick, wood, or like wood columns are appropriate. Recommended column types are: square, turned or chamfered.
- i. Porch columns should be similar to those historically found.
- j. Covered porches are recommended. A canopy may be placed over the door to provide protection and interest if a porch is not possible.

## 7. Awnings and Canopies

- a. Cloth, metal, and wooden awnings may be appropriate, and should be compatible with the architectural style of the building. Plastic or vinyl awnings are inappropriate.
- b. Canopies and awnings over doors and windows were historically used. Historically appropriate materials are acceptable.

## 8. Roof

Typically, **gable**, **hip** and **shed roofs** are appropriate for the primary roof.

- a. **Roof pitch** should be similar to other houses in the District. It is important that newly constructed houses continue this pattern and use roof pitches that are similar to those on homes in the neighborhood.
- b. Exotic building and roof forms that would detract from the visual continuity of the street are discouraged.
- c. For residential construction, all single gable roofs should have a minimum 6:12 pitch — exception is the ranch-style house that should be 3:12.
- d. For commercial construction, flat roofs with a parapet are permitted.
- e. Skylight, solar units, mechanical and service equipment and new roof features should be placed in the least visible manner from the public street.
- f. Roof venting shall not significantly alter the appearance of the home or structure.

- g. Many architectural styles of houses include dormers in their roofs. The use of dormers is an element worth repeating in new construction. Dormers add light into the dwelling as well as additional living space and break up the perceived scale of a roof.
- h. The number and size of dormers should be limited on a roof so that the primary roof form remains prominent.
- i. A dormer shall be subordinate to the overall roof mass and shall be in scale with older ones on similar structures.
- j. The top of a dormer's roof should be located below the ridgeline of the primary roof and set back from the eave.
- k. Eave depths shall be similar to those seen traditionally in the neighborhood.
- l. The length of a roof **ridge** should not exceed those historically seen on comparable buildings.
- m. Cedar and wood shingles are historically accurate. Use of composition shingles should be of an architectural quality to simulate cedar shingle. Other materials may be used upon approval of the Historic Preservation Commission.

## **9. Foundations**

Masonry and brick details are common in the historic areas of Dayton. They are used in the foundation, porch, around windows and doors and chimneys such as ornamental concrete blocks, poured concrete with a stucco wash or stone.

The foundation shall match or be compatible with original foundations in height and material and be compatible with their architectural style and materials.

Concrete foundations and CMU foundations with a stucco or skim coat are acceptable.

## **10. Mechanical and Electrical**

Mechanical and electrical equipment are recognized as necessary elements of modern living. Their disposition in relation to an historic structure requires discretion and care so that the historic character remains intact. The following elements should be situated in the least visible location from the public street: satellite dishes, air conditioners, heat pumps, attic fans, and solar panels.

## 11. Accessory Buildings

Many accessory buildings were designed as a part of the original plan for the lot. Many of the garages facing the alleys are, in themselves, of strong architectural design.

For new construction, such as garages, the following shall be considered:

- a. An accessory building should remain subordinate, in terms of mass, size and height, to the primary structure (e.g. it should not exceed the height of the primary structure). Locate an accessory building to the rear of a lot or to the side of a primary structure. Consider zoning regulations.
- b. An accessory building should be similar in character and design.
- c. In general, accessory buildings shall be unobtrusive and visually complementary with the house.
- d. Design new accessory structures such that the original historic structures can be clearly seen and identified. Place a new structure at the rear of a building or set it back from the front to minimize the visual impacts.
- e. Basic rectangular forms, with hip, gable or shed roofs, are appropriate.
- f. A contemporary interpretation of an accessory building may be considered.
- g. While the roofline does not have to match the house, it is best that it not vary significantly.

## V. LOCAL DESIGN GUIDELINES – RESIDENTIAL RELOCATION AND DEMOLITION

### **Intent**

To provide resident safety, convenience, and welfare, and promote long-term preservation of property values through livability of individually listed properties, and to maintain the historic character of homes.

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### **GENERAL - ESTABLISHING THE AREA OF WORK**

In Dayton historic houses historically orient to the street rather than to the rear or entrance side yard. Primary entrances, large windows, and porches face the street. Refer to the City of Dayton Zoning Ordinances for setback requirements. Approval of a Certificate of Appropriateness is required for any relocation work prior to obtaining a City of Dayton building permit.

Demolition of an existing structure deprives the community of historical richness and should be considered an option of last resort. Demolition is generally only considered justifiable if a city official deems the existing structure a public safety or health hazard.

A waiver from the DHPC for any demolition work is required prior to obtaining a building permit for demolition from the City of Dayton, DMC 5-18.24. Consult with the County Planner when considering demolition of an historic structure for additional requirements that may apply.

### **REHABILITATION**

All feasible and reasonable measures of rehabilitation should be considered as the first step prior to demolition. If rehabilitation is not feasible, the structure should be documented with detailed photos.

### **SALVAGE**

Historical elements should be salvaged for reuse before demolition. Salvageable historic elements should be removed for reuse or resale.

## VI. GLOSSARY OF ARCHITECTURAL TERMS

**accessory building:** A detached building subordinate to a main building such as a garage, greenhouse or shop: an outbuilding.

**American Foursquare:** An architectural house style featuring a simple box shape, two-and-a-half stories high, low-hipped roof with deep overhangs, large central dormer, full-width porch with wide stairs, and brick, stone, stucco, concrete block, or wood siding. Although foursquare houses are always the same square shape, they can have features borrowed from other styles: bay windows, small towers, or "gingerbread" trim (Queen Anne), pediments or **porticos** (Colonial Revival). See page 38 for a pictorial representation of American Foursquare.

**Art Deco:** An architectural building style featuring a rectangular blocky form arranged in geometric fashion and broken up by curved ornamental elements, flat roofs with parapets, exterior siding materials of stucco, concrete, smooth-faced stone, and terracotta, and wall openings filled with decorative glass block.

**Bungalow:** An architectural house style usually 1 to 1 1/2 stories, featuring low-pitched roofs, broad eaves, a large front porch with tapered square columns that creates an outdoor room, easy access to outdoor spaces like verandas, porches, and patios, siding varies with stucco, shingle or lapped siding, and a handcrafted appearance.

**canopy:** A protective roof-like covering, mounted on the wall above an exterior door.

**casement window:** A window sash that is hinged on the side.

**Certificate of Appropriateness (COA):** A document issued to the owner by the Historic Preservation Commission that approves specific changes to a house or building that is on a Historic Register or within a Historic District.

**Character defining elements:** Elements that allow for recognition of a property being a product of its own time.

**Colonial Revival:** An architectural house style featuring a rectangular symmetrical façade, 2 to 3 stories tall, gable roof with dormers, temple-like entrance with porticos topped by a pediment, pillars and columns, brick or wood siding, double-hung windows with shutters, simple, and classical detailing. See page 37 for a pictorial representation of Colonial Revival.

**column, chamfered:** A column with corners that are 45 degrees.

**column, turned:** A column that is milled with a profile symmetrical about its vertical axis and generally cylindrical in form.

**contributing:** A contributing building, site, structure or object adds to the historic architectural qualities, historical associations, or archeological values for which a property is significant because a.) It was present during the period of significance, and possesses historic integrity reflecting its character at that time or is capable of yielding important information about the period, or b.) It independently meets the National Register criteria.

**cornice:** A projecting molding that tops the elements to which it is attached.

**Craftsman:** An architectural house style usually 1 to 1 1/2 stories, featuring low-pitched roofs, broad eaves, a large front porch with tapered square columns that creates an outdoor room, easy access to outdoor spaces like verandas, porches, and patios, siding varies with stucco, shingle or lapped siding, and a handcrafted appearance. See page 38 for a pictorial representation of Craftsman.

**divided lites:** A window composed of various small panes of glass connected by wood or metal muntins. Simulated divided lites seek to emulate this by creating the appearance of subdivided panes of glass by using muntins that are placed between two panes of glass.

**dormer:** A window set upright in a sloping roof; the roofed projection in which this window is set.

**double hung window:** A type of window with two sashes, each sliding on a vertical track.

**fenestration:** The arrangement of doors and windows on the exterior of a house or building.

**façade:** A face of a building, usually the front.

**frieze boards:** A blank horizontal board which is capped top and bottom by molding and other decorative elements.

**Folk Victorian:** An architectural house style featuring a square, symmetrical shape, low-pitched front gable and side wings, pyramid shaped roof, brackets under the eaves, porches with spindle work or flat, jigsaw cut trim. Though similar to Queen Anne's, Folk Victorian houses are orderly and symmetrical houses. They do not have towers, bay windows, or elaborate moldings. See page 36 for a pictorial representation of Folk Victorian

**gable:** A triangular wall enclosed by the sloping ends of a ridged roof.

**gable roof:** A roof sloping downward in two parts at an angle from a central ridge, so as to leave a gable at each end.

**hip roof:** A roof sloping downward on all sides.

**Italianate:** A tall appearing architectural house style from 2 to 4 stories, with a balanced, symmetrical rectangular shape, low-pitched or flat roofs, wide overhanging eaves with brackets

and cornices, square cupola, porch topped with balustrade balconies, tall narrow windows with hood moldings, side bay window, and roman or segmented arches above windows and doors. See page 36 for a pictorial representation of Italianate.

**Minimal Traditional:** An architectural house style featuring a low or moderately pitched roof, minimal eaves and roof overhang, a side gable, often with one front-facing cross gable over the front entrance, minimal decorations (typically only faux shutters), a small fireplace and chimney, and exterior siding of wood, brick, or a mix of sidings. See page 40 for a pictorial representation of Minimal Traditional.

**motifs:** A repeated element in a composition or design.

**mullions:** A vertical member of a window frame dividing two windows.

**muntins:** An intermediate member of a window separating individual panes of glass.

**non-contributing:** A non-contributing building, site, structure, or object does not add to the historic architectural values for which a property is significant because a.) It was not present during the period of significance, b.) Due to alterations, disturbances, additions, or other changes it no longer possesses historic integrity reflecting its character at that time or is incapable of yielding important information about the period, or c.) Does not independently meet the National Register criteria.

**parapet:** A low wall at the edge of a roof or balcony.

**pediment:** The triangular-shaped portion of the wall above the cornice which formed the termination of the roof behind it; similar to a gable.

**porte cochere:** A roofed structure covering a driveway at the entrance of a building to provide shelter while entering or leaving a vehicle.

**portico:** A porch leading to the entrance of a building with a roof structure over a walkway, typically supported by columns.

**Queen Anne:** An asymmetrical architectural house style from 1 to 3 stories, often L-shaped, with cross-gabled or hipped medium pitched roofs, highly ornamented using wall surfaces as decorative elements, abundant use of spindle work, patterned masonry and shingle siding, wrapped porches, and classical design elements. Towers and turrets are placed at front corner of façade, and windows are usually double hung. Later houses may have curved windows in towers and stained glass is often seen in transoms, doors, and other windows. See page 37 for a pictorial representation of Queen Anne.

**Ranch:** A single story asymmetrical architectural house style featuring long, low hipped rooflines and large overhanging eaves, L- or U-shaped floor plan, large picture windows, stucco,

brick or wood siding, and minimal to no decoration. See page 40 for a pictorial representation of Ranch.

**rehabilitation:** Defined as the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.

**restoration:** Defined as the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project.

**ridge:** The horizontal line in which the tops of the rafters of a roof meet.

**roof pitch:** The slope of a roof is generally measured in inches of rise over a horizontal distance of 12 inches; for example, a roof pitch of 6:12 indicates the slope of a roof that rises 6 inches vertically for every 12 inches horizontal.

**rooftop addition:** Any feature altering the original roof shape or design, such as a dormer, cupola, or chimney,

**shed roof:** A roof having a single slope.

**siding:** The finish covering of an exterior wall on a building. Other terms associated with siding are shiplap, clapboard, or cladding.

**sidelites:** A sidelite is a tall slender window that flanks a door.

**single hung window:** A type of window with two sashes, the top sash is fixed, and the bottom sash slides on a vertical track.

**Tudor Revival:** An architectural house style featuring an asymmetrical façade with overhanging second floors, a cross-gabled steeply pitched roof, sometimes with clipped gables, and decorative half-timbering which subdivides stucco or brick infill siding, small dormer windows, and low arched doors. See page 39 for a pictorial representation of Tudor Revival.

**Tudor Revival Storybook Cottage:** A whimsical variant on the Tudor Revival style which imitates late medieval cottages from England as depicted in fairytale stories such as Hansel and Gretel. See page 39 for a pictorial representation of Tudor Revival Storybook Cottage.

## VII. PICTORIAL REPRESENTATIONS OF ARCHITECTURAL STYLES

Illustrations by Matt Zanger, RA



### Folk Victorian

ca. 1890 – 1910



### Italianate

ca. 1840-1885



## Queen Anne

ca. 1880 - 1910



## Colonial Revival

ca. 1880 - 1955



## Craftsman

ca. 1905-1930



## American Foursquare

ca. 1895 - 1939



## Tudor Revival

ca. 1890 – 1940



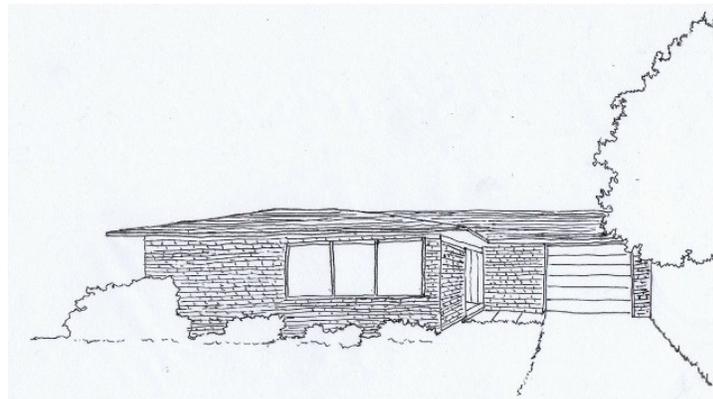
## Tudor Revival – Storybook Cottage

ca. 1920 - 1939



## Minimal Traditional

ca. 1935 - 1950



## Ranch

ca. 1935 – 1975